



Scenic Pacifica  
Incorporated Nov. 22, 1957

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## PLANNING COMMISSION Agenda

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**DATE:** May 18, 2015  
**LOCATION:** Council Chambers, 2212 Beach Boulevard  
**TIME:** 7:00 PM

**ROLL CALL:**

**SALUTE TO FLAG:**

**ADMINISTRATIVE BUSINESS:**

**Approval of Order of Agenda**

**Approval of Minutes:** March 16, 2015, April 20, 2015, and May 4, 2015

**Designation of Liaison to City Council Meeting:** None. No City Council meetings scheduled between May 18, 2015 and the next regularly scheduled Planning Commission meeting on June 1, 2015.

**CONSENT ITEMS:**

None

**PUBLIC HEARINGS:**

- PSD-791-15  
UP-41-15  
SP-150-15** **SITE DEVELOPMENT PERMIT PSD-791-15, USE PERMIT UP-041-15, AND SITE PLAN SP-150-15**, filed by Russ Orsi of Smith Development & Construction Company, agent for 7-Eleven, Inc., to demolish an existing 1,856 square feet service station building and canopy and to redevelop the site with a new 2,480 square feet 7-Eleven convenience store and service station canopy with alcohol sales at 700 Hickey Boulevard (APN 009-540-030). Recommended California Environmental Quality Act (CEQA) status: Categorical Exemption.  
*Proposed Action:* Adopt resolution approving the project as conditioned.

**CONSIDERATION ITEMS:**

- Continuation of Adoption of Resolution Determining that the 2015-2020 Capital Improvements Program is Consistent with the General Plan (continued from May 4, 2015).  
*Proposed Action:* Adopt a resolution determining that the proposed 2015-2020 Capital Improvement Program is consistent with the General Plan.
- Reorganization of the Planning Commission.  
*Proposed Action:* Motion to elect a Chair and Vice Chair.

**COMMUNICATIONS:**

**Commission Communications:**

**Staff Communications:**

**Oral Communications:**

This portion of the agenda is available to the public to address the Planning Commission on any issue within the subject matter jurisdiction of the Commission that is not on the agenda. The time allowed for any speaker will be three minutes.

**ADJOURNMENT**

Anyone aggrieved by the action of the Planning Commission has 10 calendar days to appeal the decision in writing to the City Council. If any of the above actions are challenged in court, issues which may be raised are limited to those raised at the public hearing or in written correspondence delivered to the City at, or prior to, the public hearing. Judicial review of any City administrative decision may be had only if a petition is filed with the court not later than the 90th day following the date upon which the decision becomes final. Judicial review of environmental determinations may be subject to a shorter time period for litigation, in certain cases 30 days following the date of final decision.

The City of Pacifica will provide special assistance for persons with disabilities upon 24 hours advance notice to the City Manager's office at (650) 738-7301, including requests for sign language assistance, written material printed in a larger font, or audio recordings of written material. All meeting rooms are accessible to persons with disabilities.

***NOTE: Off-street parking is allowed by permit for attendance at official public meetings. Vehicles parked without permits are subject to citation. You should obtain a permit from the rack in the lobby and place it on the dashboard of your vehicle in such a manner as is visible to law enforcement personnel.***



Scenic Pacifica  
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PLANNING COMMISSION  
Staff Report

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**DATE:** May 18, 2015

**ITEM:** 1

**PROJECT SUMMARY/RECOMMENDATION AND FINDINGS**

Notice of Public Hearing was published in the Pacifica Tribune on May 6, 2015 and mailed to nine surrounding property owners.

**FILE:** SP-150-15  
UP-41-15

**APPLICANT:** Russ Orsi, Smith Development & Construction, 7803 Madison Ave., Suite 700C, Citrus Heights, CA 95610

**OWNER:** 7-Eleven, Inc., P.O. Box 711, Dallas, TX 75221-0711

**PROJECT LOCATION:** 700 Hickey Blvd. (APN 009-540-030) – Fairmont

**PROJECT DESCRIPTION:** Demolish an existing 1,856 square feet service station building and canopy and redevelop the site with a new 2,480 square feet 7-Eleven convenience store and service station canopy with beer and wine sales.

General Plan: Commercial  
Zoning: P-D (Planned Development)

**RECOMMENDED CEQA STATUS:** Class 32 Categorical Exemption, Section 15332.

**ADDITIONAL REQUIRED APPROVALS:** None. Subject to appeal to the City Council.

**RECOMMENDED ACTION:** Approve as conditioned.

**PREPARED BY:** Christian Murdock, Assistant Planner

**ZONING STANDARDS CONFORMANCE:**

<u>Major Standards</u>	<u>Required</u>	<u>Existing</u>	<u>Proposed</u>
Lot Size (sq. ft.)	5,000	15,672 sq. ft. (.36 ac.)	No change
Coverage	N/A	12%	16%
Height	35'-0" max	16'-0"	27'-8" (store) 17'-6" (canopy)
Landscaping	10% min	6%	13%
Setbacks (Main Bldg.)			
-Front	Setbacks as	75'-5" to 94'-0"	92'-8"
-Side	established	11'-11" to 26'-8" (left)	3'-0" to 4'-6" (left)
	in approved	41'-0" to 50'-6" (right)	29'-8" (right)
-Rear	Specific Plan	7'-0" to 23'-0"	3'-0"
Setbacks (Fueling Canopy)			
-Front	Setbacks as	6'-9"	22'-11"
-Side	established	27'-2" (left)	5'-0" (left)
	in approved	58'-0" (right)	61'-9" (right)
-Rear	Specific Plan	73'-4"	62'-4"
Parking	Total 10 vehicle spaces and 2 bicycle spaces, as follows:	8 vehicle spaces, and zero bicycle parking spaces.	15 vehicle spaces (including 6 at fuel pumps), and 2 bicycle spaces.
	Service station: 1 space per employee during max. shift plus 1 space per restroom; and		
	Retail store: 1 space per 300 sq. ft. gross leasable space; and		
	Bicycle parking equal to 10% of req'd auto parking (2 space min.)		



## **PROJECT SUMMARY**

### **1. Project Description**

#### *A. Demolition*

The applicant will demolish the existing 1,856 square feet (sq. ft.) service station building and adjacent fueling canopy. The project will also involve removal of the existing underground fuel storage tanks. The applicant will then remove the remaining site improvements resulting in a completely vacant lot.

#### *B. New Convenience Store and Fueling Canopy*

The applicant proposes to construct a new 2,480 sq. ft. convenience store building and 1,624 sq. ft. fueling canopy (Attachment D). The applicant will also install new underground fuel storage tanks, new landscaping areas, realigned driveway approaches, and a new trash enclosure. Architecturally, the new convenience store building and associated improvements will reflect a modern coastal theme. The building will incorporate a mix of materials with varying heights and reliefs to add interest. Building height will vary from 21'-4" to 27'-8" atop the prominent tower element. The tower element is covered with a metal roof that adds a varied angle to the roofline. Design themes from the building will be incorporated into the fueling canopy, trash enclosure, and freestanding sign (discussed later). The predominant unifying element is the angled metal roof, but the Hardiplank baseboard material will also unify the building and freestanding sign. Building colors and materials were selected to be most complimentary to the existing residential buildings surrounding the project site.

The fueling canopy is primarily designed for function to provide cover to the fueling area, and with its elevated height to provide vehicle clearance it cannot integrate the angled roof element of the main building without becoming out of scale. As an alternative to integrating the roof style, the applicant proposes to integrate the fueling canopy design with the main building design by using the same materials from the main building façade on the base of the canopy support columns, and a trim band around the top of the canopy that is similar in color to the main building facade.

#### *C. Landscaping and Lighting*

The existing site does not conform to the zoning requirement of 10% landscaped site area. Existing conditions with four driveway approaches and extensive on-site paving have resulted in a site landscaping ratio of 6% (approximately 955 sq. ft.). The applicant proposes to substantially increase landscaped area at the site to 13% of site area, more than doubling landscaped area to approximately 2,022 sq. ft. (Attachment E). The result will be a more balanced site design that is more aesthetically appealing. The major areas of landscaping

improvement will be along the western and southern corners of the site, although the applicant will also add a landscape island along the southwest corner of the storefront. The landscaped areas will include drought-tolerant plant species with the final planting plan subject to review and approval by the Planning Director.

The applicant will install many new lighting fixtures at the site. The convenience store building will include down-facing wall packs on each elevation as well as down-facing lighting integrated with a façade canopy architectural feature. Freestanding light standards in the parking lot will have a down-facing orientation. Lighting integrated with the fueling canopy will be the brightest on the site. Light levels may be two to three times as bright as elsewhere on the site. The City does not have a zoning standard for lighting, although the Commission may wish to consider whether lighting of this intensity is appropriate so near to adjacent residential uses. A photometric plan for the site is included as Attachment F.

#### *D. Parking and Circulation*

The existing site does not contain striped parking stalls. Therefore, it is difficult to assess pre-project and post-project parking levels. Notwithstanding pre-project parking, the applicant has proposed on-site parking that exceeds the zoning requirement of 10 vehicle stalls and two bicycle parking spaces. The project will include nine striped parking stalls compliant with the City's 9' X 19' full-size parking stall standard. In addition, the applicant will include six parking stalls immediately adjacent the fuel pumps, bringing the total vehicle parking capacity to 15 parking stalls. The applicant will also install two bicycle parking spaces as required by the parking standards. The existing site does not have any bicycle parking spaces.

On-site circulation will improve with realigned driveway approaches and drive aisles. The applicant will realign the westernmost Hickey Boulevard driveway approach to comply with the 10' minimum setback from the curb return. Along Gateway Drive, the applicant eliminated the northernmost driveway to create space for additional landscaping and on-site parking. This driveway previously encroached into the 10' minimum driveway approach setback from curb returns. All driveways were redesigned to comply with the maximum 35' width standard. The applicant has also ensured that all vehicle maneuvering areas, or drive aisles, comply with zoning standards. All drive aisles adjacent to parking areas will be at least 25 feet wide.

#### *E. Signage*

The applicant proposes to install several signs in conjunction with this project (Attachment G). These include a freestanding (i.e. monument) sign at the corner of Hickey Boulevard and Gateway Drive, wall signs on the northern and western building elevations, wall signs on all four elevations of the fueling canopy, wall signs on each of the fuel pumps, and window signs in the storefront. Staff supports the applicant's signage proposal with one exception, as explained below.



The project site has two street frontages, resulting in separate non-window sign code allowances of 0.75 square feet of sign area per linear foot of each frontage. The total frontage along Hickey Boulevard is 128.74 feet and along Gateway Drive is 120.37 feet (approximately 16 linear feet of the 32-foot curved frontage at the western corner of the site has been allocated to both frontages). Maximum permissible non-window sign area for the Hickey Boulevard frontage is 96 square feet and for the Gateway Drive frontage is 90 square feet. The City’s sign code does not allow permissible sign area to be transferred between frontages and requires that sign area be used only on the frontage which generates the permitted sign area, unless an exception is granted by the Commission (PMC Sec. 9-4.2906(a)(4)). Staff has assigned the sign area of each proposed sign to its appropriate frontage. However, staff recommends allowing the applicant to allocate one side of the freestanding sign to each frontage given that it serves both frontages, and similarly to allocate half of the fuel pump signs to each frontage.

The signage proposal contains the same number and type of signs for each street frontage. For simplicity, staff will discuss these sign types only once. The following table summarizes proposed sign types and sign areas for each frontage:

<b>Sign Type (from sign plan)</b>	<b>Description</b>	<b>Qty.</b>	<b>Sq. Ft. (each)</b>	<b>Sq. Ft. (total)</b>
A	Monument sign (one face)	1	21.4	21.4
B	Main store wall sign	1	33.5	33.5
E	Canopy wall sign	2	4	8
F	Fuel pump sign	6	4	24
			<b>Total</b>	<b>86.9</b>

The freestanding sign at the project site exists currently. The applicant proposes to keep the existing sign base and orientation, but will restyle the sign to contain the same siding materials and colors as the main building. Sign width will increase slightly to 16’-5” while sign height will increase from approximately 8 feet to a new height ranging from 8’-6” to 11’-6”. The height increase is attributable to the angled beam atop the sign which integrates it with the architectural design of the main building. The City’s sign standards allow freestanding sign height up to 20’ tall, although the Commission must approve freestanding sign design. A portion of the sign will contain changeable copy consisting of digital fuel price displays. Fuel prices will be displayed with red light emitting diode (LED) illumination. The remaining sign copy will be a fixed copy metal channel letter 7-Eleven logo with internal LED illumination. This logo will have a sign area of 4’-9” wide by 4’-6” tall. The sign area of the fuel price sign is exempt from the City’s sign provisions under PMC Sec. 9-4.2904(a).

Two main store wall signs will be installed on the tower feature of the northwest and southwest building elevations. The signs measure 2’-6” tall by 13’-5” wide with a 4” letter depth. Sign construction will consist of metal channel letters with internal LED illumination. There are four proposed fuel canopy wall signs, one per each elevation of the canopy. The signs will consist of

2'-0" tall by 2'-0" wide by 6" deep cabinets with internal LED illumination. The signs will not project above or below the canopy trim band.

Total proposed non-window sign area is 86.9 square feet for each street frontage. The area of non-window signage proposed by the applicant is within the limitations provided in the City's sign standards. However, the applicant has proposed wall signs on two elevations of the fuel canopy where no signage allocation exists. The northeast and southeast fuel canopy elevations, where the applicant has proposed one wall sign each, face the interior side and rear lot lines. The interior side and rear lot lines do not have street frontages, and therefore, do not receive a sign area allocation. For this reason, staff has included a condition of approval in the draft resolution of approval that would prohibit signage on the northeastern and southeastern fueling canopy elevations. If the Commission supports this prohibition, the proposed non-window sign area for each frontage would decrease to 82.9 square feet for each street frontage. This reduced sign area would comply with the maximum allowed sign area provided in the City's sign standards.

The applicant has also proposed two window signs (Sign Types C and D in the sign plan) on the main building elevation. Window signs receive a separate sign area allocation. The total area of these signs is approximately 18 square feet, and the applicant is allowed up to 0.5 square feet of window sign area per linear foot of street frontage. Based on the Hickey Boulevard frontage these signs will face, the applicant is allowed up to 64 square feet of window sign area. The proposed window signage is consistent with the City's sign standards.

#### *F. Heritage Trees*

Construction of this project will involve work within a very small portion of the driplines of heritage trees along the eastern and southern parcel boundaries. The heritage trees in question are located off-site on an adjacent multi-family residential property. The applicant will prepare a tree protection plan for Planning Director review and approval prior to issuance of a building permit.

#### *G. Other Improvements*

Upon staff's request, the applicant made various other improvements to the site to remove zoning inconsistencies, to comply with stormwater management regulations, or to otherwise improve the site layout and function. Among these other important improvements is the construction of a trash enclosure covered by a solid roof and connected to the sanitary sewer system. This will minimize the potential for runoff contaminated with food waste to enter the stormdrain system which can cause harmful pollution to waterways. The applicant will also remove the existing payphones located at the southwest of the site in a corner that has historically been overlooked and underutilized. In their place, the applicant will create a bicycle parking area and additional landscape plantings.



#### *H. Uses*

The applicant proposes to operate a convenience store at the site in conjunction with fuel sales. Fuel will be sold at three fueling dispensers servicing six vehicle locations. There will be an air and water machine for customer convenience at the eastern end of the storefront.

Project approval would result in the discontinuation of vehicle servicing at the site, including smog check services. There is an existing convenience store use currently at the site, but it offers a limited range of products and comprises a minor share of the service station building floor area. The new convenience store would become a 7-Eleven with 24-hour operations. The sale of food items, beverages, and other sundries would comprise nearly the entire store except for the area dedicated to a restroom and employee area. This substantial expansion of the convenience store use requires issuance of a Use Permit since it is occurring in conjunction with a service station use.

The applicant also proposes to transfer an existing Alcoholic Beverage Control (ABC) License Type 20 allowing off-sale of beer & wine from the existing business owner to 7-Eleven. The sale of alcohol in conjunction with a service station requires issuance of a Use Permit. Despite the existing lawful alcohol sales at the site, the substantial expansion of this use by 7-Eleven requires a new Use Permit for this activity. As part of its review of the Use Permit, the Planning Commission may consider appropriate hours for alcohol sales and other restrictions governing alcohol sales. Unless the Commission establishes different hours, the applicant would be eligible to sell alcohol seven days per week from 6 AM until 2 AM, as provided by state law. Another element to consider is the proximity of other off-sale licenses within the vicinity. There are two nearby locations licensed for off-sale of alcohol – Rite Aid Pharmacy and Lucky Supermarket – both located approximately 400 feet north in the Fairmont Shopping Center. The Census tract where the project site is located is not overconcentrated with this license type according to ABC Department regulations. Therefore, it will not require a finding of public convenience and necessity (i.e. PCN) from the City in order to approve the license transfer.

The substantial expansions of the existing convenience store and alcohol sales uses also require issuance of a Use Permit due to the changes of use adjacent to a residential district. The Planning Commission may consider what other aspects of these uses should be regulated in order to minimize potential impacts on nearby residents. These may include hours of operation, fuel and retail product delivery schedules, prohibition of audible advertising at fuel pumps, property maintenance standards, and perhaps other elements that could result in impacts to nearby neighbors. The Police Chief reviewed the proposed project and did not identify any concerns related to public safety. The applicant has prepared a property maintenance plan for Commission consideration (Attachment H).



## **2. General Plan, Zoning, and Surrounding Land Uses**

The subject site's General Plan land use designation is Commercial, and its zoning classification is P-D (Planned Development). The proposed convenience store and service station are commercial uses consistent with the Commercial General Plan land use designation.

The zoning district most similar in nature and function for this site is the C-1 (Neighborhood Commercial) zoning district, and its standards will apply to this project. The project conforms to all C-1 development standards, including but not limited to setbacks, height, lot coverage, parking, and landscaping.

Existing development in the immediate vicinity of the project area is commercial to the north and west, and multi-family residential to the east and south.

## **3. Municipal Code**

The applicant's proposal requires two approvals under the Pacifica Municipal Code (PMC). The first is a Specific Plan, required prior to issuance of a building permit for construction within the P-D zoning district (PMC Sec. 9-4.2208). The Planning Commission must make two findings in order to approve a Specific Plan application (PMC Sec. 9-4.2209):

- A. That the specific plan is consistent with the approved development plan; and
- B. That the specific plan is consistent with the City's adopted Design Guidelines.

The subject proposal also requires a Use Permit for three aspects of the project:

- A. Retail alcohol sales in conjunction with a service station (PMC Sec. 9-4.1001(b)(2));
- B. Mini-market in conjunction with a service station (PMC Sec. 9-4.1001(b)(3)); and,
- C. Change of use adjacent to a residential district (PMC Sec. 9-4.1002(i)).

The Planning Commission must make three findings in order to approve any of the uses requiring a Use Permit (PMC Sec. 9-4.3303(a)):

- A. That the establishment, maintenance, or operation of the use or building applied for will not, under the circumstances of the particular case, be detrimental to the health, safety, and welfare of the persons residing or working in the neighborhood or to the general welfare of the City;

- B. That the use or building applied for is consistent with the applicable provisions of the General Plan and other applicable laws of the City and, where applicable, the local Coastal Plan; and
- C. That the use or building applied for is consistent with the City's adopted Design Guidelines.

Staff determined after publication of the legal notice for this project that it did not require a Site Development Permit (PSD). Therefore, future documents associated with this project will omit references to Site Development Permit PSD-791-15.

#### **4. CEQA Recommendation**

Staff analysis of the proposed project supports a Planning Commission finding that it qualifies for a categorical exemption from the California Environmental Quality Act (CEQA). The project qualifies as a Class 32 exemption provided in Section 15332 of the CEQA Guidelines (In-Fill Development Projects). Section 15332 states in part:

Class 32 consists of projects characterized as in-fill development meeting the conditions described in this section.

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
- (c) The project site has no value as habitat for endangered, rare or threatened species.
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- (e) The site can be adequately served by all required utilities and public services.

The subject proposal to demolish an existing service station building and fueling area canopy in order to construct a new convenience store building and fueling area canopy fits within the scope of a Class 32 categorical exemption. Specifically, the project (1) is consistent with the Commercial general plan designation and policies for the site, as well as with the P-D zoning designation and C-1 zoning regulations; (2) will occur within the Pacifica City Limits on a site less than 5 acres that is surrounded by high-density residential and commercial uses; (3) will occur on a developed urban site with no value as habitat for endangered, rare or threatened species; (4) will not result in any significant effects relating to traffic, noise, air quality, or water quality; and, (5) has all required utilities available on-site or within the immediate vicinity of the site. Therefore, the project fits within the scope of a Class 32 exemption.



## **5. Staff Analysis**

Staff believes the project will result in a positive improvement to the existing site. The new structures and on-site improvements will be aesthetically pleasing and will be fully compliant with zoning standards, marking a drastic improvement to the variety of non-conforming conditions presently at the site. While the intensity of the uses at the site will increase, particularly in terms of potential 24-hour operations and brighter lighting, staff's opinion is that the Commission can sufficiently condition these items in response to any neighborhood concerns. Furthermore, the project is consistent with the approved Development Plan for the surrounding area and with the City's adopted Design Guidelines, as described below.

### *A. Consistency with Approved Development Plan*

The proposed Specific Plan for the subject site, which includes a new convenience store building, fueling canopy, signage, landscaping, and other site improvements, is generally consistent with the existing conditions at the site and with the original approval granted for development of the site in 1965. Considering the substantial conformance of the proposal to the existing conditions, staff's opinion is that the Specific Plan is consistent with the approved development plan.

The uses proposed at the subject site are also generally consistent with those existing prior to the subject application. However, the applicant proposes to expand these uses in a fashion that warrants review of a Use Permit for potential impacts stemming from the expansion particularly, not the uses generally.

### *B. Consistency with Design Guidelines*

The proposed improvements at the site are consistent with the City's adopted Design Guidelines. While not prescriptive like zoning standards, the Design Guidelines provide guidance on significant elements of project design that, when balanced overall, result in the best possible site layout and building architecture for a project. Major areas of project consistency with the Design Guidelines include the following:

- i. **Building Design.** The architectural style and materials of the convenience store building draws from the adjacent multi-family residential buildings. The convenience store building will complement, enhance, and reinforce the positive characteristics of the surrounding developments. A canopy projecting from a portion of the building façade will provide relief and a dimensional element.
- ii. **Materials and Color.** The smooth stucco-type and horizontal wood-type siding materials are consistent with the siding materials of the adjacent apartment buildings. The changes in building color correspond to changes in material type.

The cool blue and gray color scheme is compatible with the colors of the surrounding buildings.

- iii. Scale. The project will be in scale with surrounding developments by remaining below the height of the surrounding apartment buildings and auto repair facility.
- iv. Screening. The exterior trash storage area will be housed within a block wall enclosure and gate with a solid roof, screening it from public view.
- v. Parking. The major parking area will be located to the rear of the site along the building facade. A minor parking area will be located to the side of the property along the minor street frontage on Gateway Drive. This area will be adjacent to landscape planters to partially screen the parking area. A bicycle parking area will be added to the site where one currently does not exist.
- vi. Security. The parking area will be designed with sufficient lighting to maintain a safe environment. The property will contain security cameras to further enhance the safety of customers.
- vii. Grading. No significant amount of grading is required for this project.
- viii. Landscaping. The building architecture stands on its own, and is complemented by the site landscaping. The landscaping installed at the site will exceed the minimum zoning district requirement. Landscaping at the site will not include turf.
- ix. Signage at the site will be in scale and in character with the building. The freestanding sign will integrate architectural materials and design of the main building.

## **6. Summary:**

Staff has determined that, as conditioned, the project will satisfy all zoning regulations and applicable development standards, and will be consistent with the General Plan. Thus, staff recommends approval of the project subject to the conditions in Exhibit A of the Resolution.

## **COMMISSION ACTION**

### **MOTION FOR APPROVAL:**

Move that the Planning Commission finds that the project is exempt from the California Environmental Quality Act; approves Specific Plan SP-150-15 and Use Permit UP-41-15 by

adopting the attached resolution, including conditions of approval in Exhibit A; and, incorporates all maps and testimony into the record by reference.

Attachments:

- A. Land Use and Zoning Exhibit
- B. Resolution for Use Permit
- C. Exhibit A for Resolution – Conditions of Approval
- D. Site Plan, Floor Plan, and Elevations
- E. Landscape Plan
- F. Photometric (Lighting) Plan
- G. Sign Plan
- H. Property Maintenance Plan

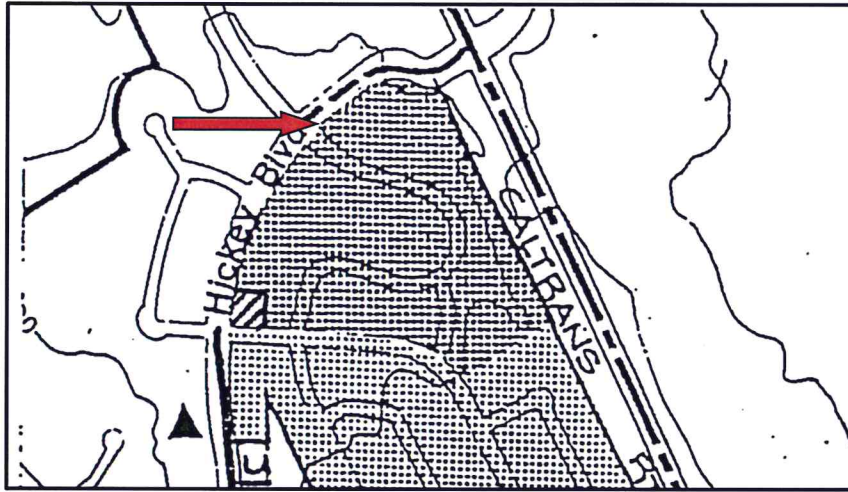


# Zoning & Land Use Exhibit

City of Pacifica Planning Department

## General Plan Diagram

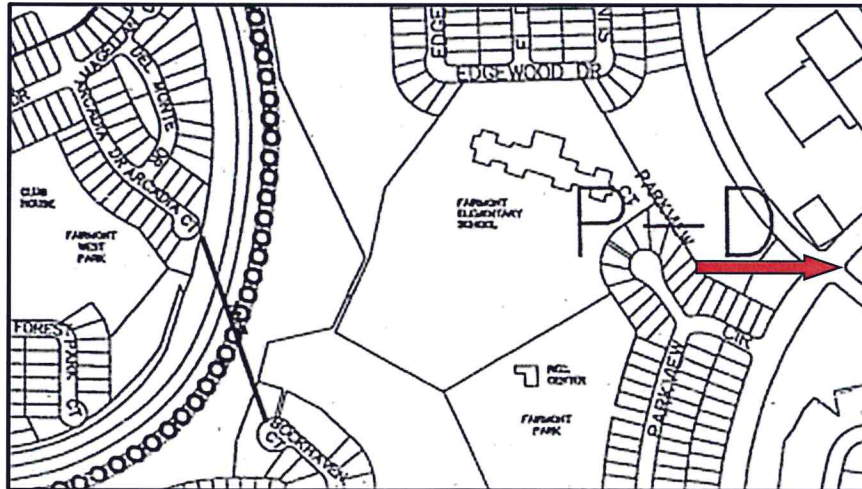
Neighborhood: Westview-Pacific Highlands  
Land Use Designation: Commercial



Note: The City Council changed the subject site's General Plan Land Use Designation to Commercial from High Density Residential with GPA-68-97 on 9/22/1997.

## Zoning Map Diagram

Zoning District: P-D (Planned Development)



(Maps Not to Scale)

**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PACIFICA APPROVING SPECIFIC PLAN SP-150-15 AND USE PERMIT UP-41-15, SUBJECT TO CONDITIONS, FOR A 7-ELEVEN CONVENIENCE STORE AND SERVICE STATION AT 700 HICKEY BOULEVARD (APN 009-540-030).**

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Initiated by: Russ Orsi, Agent for 7-Eleven, Inc. (“Applicant”).

**WHEREAS**, an application has been submitted to demolish an existing service station building and fueling canopy and to construct a new 2,480 square feet convenience store building and fueling canopy at 700 Hickey Boulevard; and

**WHEREAS**, operation of a convenience store in conjunction with a service station, retail alcohol sales in conjunction with a service station, and a change of use adjacent to a residential district, are uses which require approval of a Use Permit; and

**WHEREAS**, construction of the proposed buildings requires approval of a Specific Plan prior to the issuance of a building permit because the project site is a property within the P-D (Planned Development) zoning district, and such Specific Plan must be consistent with the approved Development Plan for the area and the City’s adopted Design Guidelines; and

**WHEREAS**, the Planning Commission of the City of Pacifica did hold a duly noticed public hearing on May 18, 2015, at which time it considered all oral and documentary evidence presented, and incorporated all testimony and documents into the record by reference;

**NOW, THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Pacifica does hereby make the following findings pertaining to Specific Plan SP-150-15:

1. That the specific plan is consistent with the approved development plan.

The proposed improvements are generally consistent with the existing conditions at the site and with the original approval granted for development of the site in 1965.

2. That the specific plan is consistent with the City’s adopted Design Guidelines.

The proposed improvements are consistent with the Design Guidelines focus areas of building design, materials and color, scale, screening, parking, security, grading, landscaping, and signage.

3. That the project is exempt from the California Environmental Quality Act (CEQA) as a Class 32 project per Section 15332 of the CEQA Guidelines.



The proposal to demolish an existing service station building and fueling area canopy in order to construct a new convenience store building and fueling area canopy fits within the scope of a Class 32 categorical exemption. Specifically, the project (1) is consistent with the Commercial general plan designation and policies for the site, as well as with the P-D zoning designation and C-1 zoning regulations; (2) will occur within the Pacifica City Limits on a site less than 5 acres that is surrounded by high-density residential and commercial uses; (3) will occur on a developed urban site with no value as habitat for endangered, rare or threatened species; (4) will not result in any significant effects relating to traffic, noise, air quality, or water quality; and, (5) has all required utilities available on-site or within the immediate vicinity of the site. Therefore, the project fits within the scope of a Class 32 exemption.

4. That the project is in conformity with the City's adopted General Plan and the proposed structure complies with the development standards of the underlying zoning district.

The subject site's General Plan land use designation is Commercial, and its zoning classification is P-D (Planned Development). The proposed convenience store and service station are commercial uses consistent with the Commercial General Plan land use designation.

The zoning district most similar in nature and function for this site is the C-1 (Neighborhood Commercial) zoning district, and the project conforms to all C-1 development standards, including but not limited to setbacks, height, lot coverage, parking, and landscaping.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** that the Planning Commission of the City of Pacifica does hereby make the following findings pertaining to Use Permit UP-41-15:

1. That the establishment, maintenance, or operation of the use or building applied for will not, under the circumstances of the particular case, be detrimental to the health, safety, and welfare of the persons residing or working in the neighborhood or to the general welfare of the City.

The development standards and conditions of approval applied to this project will ensure that the public health, safety, and welfare are preserved.

2. That the use or building applied for is consistent with the applicable provisions of the General Plan and other applicable laws of the City and, where applicable, the Local Coastal Land Use Plan.

The subject site's General Plan land use designation is Commercial, and its zoning classification is P-D (Planned Development). The proposed convenience store and service station are commercial uses consistent with the Commercial General Plan land use designation.

The zoning district most similar in nature and function for this site is the C-1 (Neighborhood Commercial) zoning district, and the project conforms to all C-1 development standards, including but not limited to setbacks, height, lot coverage, parking, and landscaping.

The project site is not located within the Coastal Zone, and therefore, the provisions of the Local Coastal Land Use Plan do not apply.

3. That the use or building applied for is consistent with the City's adopted Design Guidelines.

The proposed improvements are consistent with the Design Guidelines focus areas of building design, materials and color, scale, screening, parking, security, grading, landscaping, and signage.

4. That sufficient on-site parking exists to accommodate the anticipated demand created by the project.

The proposed project exceeds the minimum parking standards for vehicle parking and meets the minimum parking standards for bicycle parking as set forth in the Pacifica Municipal Code.

5. That the proposed 7-Eleven convenience store and service station will be harmonious with the surrounding neighborhood and provide for the public convenience and necessity in terms of sundry items, fuel, and beer and wine.

The development standards and conditions of approval applied to this project will ensure that the site will operate harmoniously with the surrounding neighborhood. The 24-hour operation of the project will provide a shopping convenience to the public.

6. That the project is exempt from the California Environmental Quality Act (CEQA) as a Class 32 project per Section 15332 of the CEQA Guidelines.

The proposal to demolish an existing service station building and fueling area canopy in order to construct a new convenience store building and fueling area canopy fits within the scope of a Class 32 categorical exemption. Specifically, the project (1) is consistent with the Commercial general plan designation and policies for the site, as well as with the P-D zoning designation and C-1 zoning regulations; (2) will occur within the Pacifica City Limits on a site less than 5 acres that is surrounded by high-density residential and commercial uses; (3) will occur on a developed urban site with no value as habitat for endangered, rare or threatened species; (4) will not result in any significant effects relating to traffic, noise, air quality, or water quality; and, (5) has all required utilities available on-site or within the immediate vicinity of the site. Therefore, the project fits within the scope of a Class 32 exemption.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** that the Planning Commission of the City of Pacifica does hereby approve Specific Plan SP-150-15 and Use Permit UP-41-15, subject to conditions of approval attached in Exhibit A.

\* \* \* \* \*

Passed and adopted at a regular meeting of the Planning Commission of the City of Pacifica, California, held on the 18th day of May 2015.

AYES, Commissioners:

NOES, Commissioners:

ABSENT, Commissioners:

ABSTAIN, Commissioners:

\_\_\_\_\_  
Mike Brown, Chair

ATTEST:

APPROVED AS TO FORM:

\_\_\_\_\_  
Tina Wehrmeister, Planning Director

\_\_\_\_\_  
Michelle Kenyon, City Attorney



## **Exhibit A**

### **Conditions of Approval: Specific Plan SP-150-15 and Use Permit UP-41-15, 7-Eleven Convenience Store and Service Station, 700 Hickey Boulevard (APN 009-540-030)**

#### **Planning Commission Meeting of May 18, 2015**

##### **Planning Department**

1. Development shall be substantially in accord with the plans entitled "Preliminary Site Plan," dated February 25, 2015, and "Color Elevations," dated March 9, 2015, except as modified by the following conditions.
2. That this approval is valid for a period of one year from the date of final determination. If the use or uses approved is/are not established within such period of time, the approval shall expire unless extended by the Planning Commission upon written request by Applicant prior to the expiration date.
3. Once commenced, if the use or uses approved with this Use Permit lapse for a continuous period of one year or more, the Use Permit shall lapse and become null and void.
4. Prior to the issuance of a building permit, Applicant shall submit information on exterior finishes, including colors and materials, subject to approval of the Planning Director.
5. Prior to the issuance of a building permit, Applicant shall submit a final landscape plan for approval by the Planning Director and City Engineer. The landscape plan shall show each type, size, and location of plant materials, as well as the irrigation system. Landscaping materials included on the plan shall be coastal compatible, drought tolerant and shall be predominantly native. All landscaping shall be installed consistent with the final landscape plan prior to issuance of a certificate of occupancy. In addition, the landscaping shall be maintained as shown on the landscape plan and shall be designed to incorporate efficient irrigation to reduce runoff, promote surface filtration, and minimize the use of fertilizers, herbicides, and pesticides. Landscaping on the site shall be adequately maintained in a healthful condition and replaced when necessary as determined by the Planning Director.
6. Prior to the issuance of a building permit, Applicant shall submit a tree protection plan prepared by a qualified arborist, horticulturist, landscape architect or other qualified person for review and approval by the Planning Director. All construction activities shall be undertaken in conformance to the approved tree protection plan.

## **Attachment C**

7. All transformers, HVAC units, backflow preventors and other ground-mounted utility equipment shall be shown on the landscape and irrigation plans and shall be located out of public view and/or adequately screened through the use or combination of walls or fencing, berming, painting, and/or landscaping, to the satisfaction of the Planning Director.
8. All trash and recycling materials, if stored outdoors, shall be fully contained and screened from public view within an approved enclosure. The enclosure design shall be consistent with the adjacent and/or surrounding building materials, and shall be sufficient in size to contain all trash and recycling materials, as may be recommended by Recology of the Coast. Trash enclosure and dumpster areas shall be covered and protected from roof and surface drainage, and shall be connected to the sanitary sewer system in a manner approved by the Waste Water Treatment Plant. Prior to the issuance of a building permit, Applicant shall provide construction details for the enclosure for review and approval by the Planning Director.
9. Prior to the issuance of a building permit, Applicant shall submit a roof plan with spot elevations showing the location of all roof equipment including vents, stacks and skylights. All roof equipment shall be screened to the Planning Director's satisfaction.
10. All vents, gutters, downspouts, flashing, and conduits shall be painted to match the colors of adjacent building surfaces. In addition, any mechanical or other equipment such as HVAC attached to or protruding from the building shall be appropriately housed and/or screened to the Planning Director's satisfaction.
11. Prior to issuance of a certificate of occupancy, Applicant shall obtain all permits required by the County of San Mateo Health Department, including but not limited to permits for removal and reinstallation of underground storage tanks and for food sales.
12. Alcohol sales shall be limited to beer and wine only and to the days and hours set forth in state law.
13. Applicant shall obtain a Type 20 (off-sale beer and wine) license from the California Department of Alcoholic Beverage Control prior to the sale of alcoholic beverages at the subject site.
14. Applicant shall offer for sale none of the following items: any alcoholic items with volumes less than 300 milliliters (mL); individual cans or bottles of beer or malt liquor; wine in bottles, boxes, or other containers with volumes less than 750 mL. The purpose of this restriction is to discourage immediate consumption of alcoholic beverages outside the store. All activities at the subject site shall be conducted in compliance with California Department of Alcoholic Beverage Control rules and regulations.



15. The restroom facilities for the convenience store and service station shall be available to patrons at all times during operation of the convenience store.
16. Applicant shall maintain its site in conformance to the Property Maintenance Plan submitted with its application, stamped received March 18, 2015. Applicant shall further maintain its site in a fashion that does not constitute a public nuisance and that does not violate any provision of the Pacifica Municipal Code.
17. This Use Permit does not authorize any outdoor display or sale of merchandise anywhere on the site, including but not limited to any type of vending machine, liquefied petroleum (LP) containers, newspapers, or firewood.
18. Repair or service of vehicles at the site other than normal maintenance of fluids at the pump islands or filling of tires at an air compressor is prohibited.
19. This approval prohibits the leasing of any portion of the subject site for a use not authorized within this resolution, unless authorization is obtained from the Planning Commission.
20. Applicant shall not permit the use of the air compressor between the hours of 10 PM and 7 AM.
21. Amplified audio of any kind, including but not limited to the use of audible advertising devices at fuel pumps, is prohibited in any exterior portion of the site.
22. All construction shall comply with the C.3 and C.6 Development Review Checklist submitted by Applicant, stamped received on March 18, 2015.
23. All outstanding and applicable fees associated with the processing of this project shall be paid prior to the issuance of a building permit.
24. Prior to the issuance of a building permit, Applicant shall submit a detailed on-site exterior lighting plan for review and approval by the Planning Director. Said plan shall indicate fixture design, illumination, location, height, and method of shielding so as not to adversely affect adjacent properties. Lighting shall be directed away from adjacent residences. Buffering techniques to reduce light and glare impacts to residences shall be required. Building lighting shall be architecturally integrated with the building style, materials and colors and shall be designed to minimize glare. The plan shall show fixture locations, where applicable, on all building elevations.

25. No signage shall be permitted on the northeast and southeast elevations of the fueling canopy since these elevations do not face a street frontage, and therefore, have no allowance for signage under Pacifica Municipal Code Title 9, Chapter 4, Article 29.
26. The applicant shall indemnify, defend and hold harmless the City, its Council, Planning Commission, advisory boards, officers, employees, consultants and agents (hereinafter "City") from any claim, action or proceeding (hereinafter "Proceeding") brought against the City to attack, set aside, void or annul the City's actions regarding any development or land use permit, application, license, denial, approval or authorization, including, but not limited to, variances, use permits, developments plans, specific plans, general plan amendments, zoning amendments, approvals and certifications pursuant to the California Environmental Quality Act, and/or any mitigation monitoring program, or brought against the City due to actions or omissions in any way connected to the applicant's project, but excluding any approvals governed by California Government Code Section 66474.9. This indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and costs of suit, attorneys fees and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, City, and/or parties initiating or bringing such Proceeding. If the applicant is required to defend the City as set forth above, the City shall retain the right to select the counsel who shall defend the City.
27. Applicant shall clearly indicate compliance with all conditions of approval on the plans and/or provide written explanations to the Planning Director's satisfaction prior to approval of a building permit.
28. The Use Permit granted may be revoked if any of the conditions or terms of such permit are violated or if any law is violated in connection therewith, including any provision of the Pacifica Municipal Code. Revocation proceedings shall be conducted in accordance with Pacifica Municipal Code Section 9-4.3309.

#### **Building Division**

29. The Applicant's proposal requires review and approval of a building permit by the Building Official.

#### **North County Fire Authority**

30. Prior to issuance of a building permit, Applicant shall apply for a Fire Authority permit to remove and reinstall underground storage tanks.
31. Fire sprinklers are required per 2013 CFC Chapter 9 Section 903 as amended by the



Pacifica Municipal Code to NFPA 13.

32. Project shall comply with fire flows per 2013 CFC Appendix B for buildings with fire sprinklers.
33. Project shall comply with Fire Apparatus Access per 2013 CFC Chapter 5 Fire Service Features, 501.4 for Fire Apparatus Access Roads and Water Supply.
34. Project shall comply with 2013 CFC Chapter 5, Section 505.1 and 2.
35. Project shall comply with 2013 CFC Section 903.4 and 903.4.1.2 Alarms. Applicant shall provide a horn strobe on the Hickey Boulevard frontage to the satisfaction of the Fire Chief.
36. Project will comply with the 2013 CFC Chapter 33 – Fire Safety During Construction and Demolition.

#### **Waste Water Department**

37. Prior to the issuance of a building permit, Applicant shall obtain a sewer lateral compliance certificate from the Waste Water Treatment Plant.

#### **North Coast County Water District (NCCWD)**

38. Prior to the issuance of a building permit, Applicant shall determine the domestic water requirements in accordance with the Uniform Plumbing Code so that the NCCWD can provide the properly sized domestic meter or meters. If it is determined that an upgrade is necessary, Applicant must complete a *Commercial/Mixed-Use/Multi-Family Water Service Application*. Storage and Transmission Fees, Administrative Fee, and Installation Deposit must be paid in accordance with the District's Rate and Fee Schedule before the District installs any meters.
39. Due to the requirement for a fire sprinkler system at this project site, the fire sprinkler designer and/or owner/applicant may be required to have a fire flow test performed to ensure the system is designed using accurate information. The NCCWD requires a \$500 deposit towards the cost of performing the fire flow test. If the actual cost of the fire flow is less than the deposit a refund will be returned to the owner/applicant.
40. Prior to the issuance of a certificate of occupancy, the fire sprinkler designer shall obtain the latest version of the NCCWD's Standard Specifications and Construction Details (available online at [www.nccwd.com](http://www.nccwd.com) or available for purchase at the NCCWD office). The



sprinkler designer must design the sprinkler system to meet NCCWD standards. The fire sprinkler designer must submit plans and Hydraulic Fire Sprinkler Calculations approved and stamped by the Fire Marshal to the NCCWD for review along with the appropriate fees to cover NCCWD costs related to plan review.

41. Applicant shall meet all County of San Mateo requirements for backflow prevention and cross-connection. A copy of plans must also be submitted to the San Mateo County Environmental Health Services Division, 2000 Alameda de las Pulgas, Suite 100, San Mateo, CA 94403. Telephone number (650) 372-6204, Attention: Michelle Bilodeau. Approval by the County may be required before any work is completed by the NCCWD.
42. Applicant is responsible for trenching, backfilling, and resurfacing the roadway and/or sidewalk from water main, as identified by the District Engineer, to the proposed meter(s) to NCCWD & City of Pacifica standards.

#### **Engineering Division of Public Works Department**

43. Construction shall be in conformance with the San Mateo Countywide Storm Water Pollution Prevention Program. Best Management Practices shall be implemented.
44. Applicant shall comply with Engineering Plan Checklist (Rev. 8/14) Items 1 through 23, 25 through 26, 28 through 29 (b, c, and e), 30, 34 through 36, 39 through 41, and 43 through 44 (a).
45. Prior to issuance of a building permit, Applicant shall add a note on the Site Plan that says, "Existing curb, sidewalk or street adjacent to property frontage that is damaged or displaced shall be repaired or replaced even if damage or displacement occurred prior to any work performed for this project."
46. Prior to issuance of a building permit, add a note on the Site Plan that says, "Any damage to improvements within the city right-of-way or to any private property, whether adjacent to subject property or not, that is determined by the City Engineer to have resulted from construction activities related to this project shall be repaired or replaced as directed by the City Engineer."
47. Prior to issuance of a certificate of occupancy, Applicant shall overlay existing asphalt with minimum 2-inch AC to street centerline across entire property frontage along Hickey Boulevard and Gateway Drive. All pavement striping and markings shall be replaced in-kind.

48. Prior to issuance of a certificate of occupancy, Applicant shall place a street sign "Sidewalk Ends" where the sidewalk ends along Hickey Boulevard north of the property, to the satisfaction of the City Engineer.
49. Prior to issuance of a certificate of occupancy, all curbs along the property frontage shall be painted red, to the satisfaction of the City Engineer.
50. All utilities shall be installed underground from the nearest joint pole.
51. Roadways shall be maintained clear of construction materials and debris, especially mud and dirt tracked onto Hickey Boulevard and Gateway Drive. No material storage along Hickey Boulevard or Gateway Drive is permitted. Dust control and daily road cleanup will be strictly enforced.
52. An Encroachment Permit must be obtained for all work within the City right-of-way. All proposed improvements within the City right-of-way shall be constructed per City Standards, to the satisfaction of the City Engineer.
53. All recorded survey points, monuments, railroad spikes, pins, cross cuts on top of sidewalks and tags on top of culvert headwalls or end walls whether within private property or public right-of-way shall be protected and preserved. If survey point(s) are altered, removed or destroyed, Applicant shall be responsible for obtaining the services of a licensed surveyor or qualified Civil Engineer to restore or replace the survey points and record the required map prior to completion of the building permit.





**PROPOSED TRUCK RECEIPTABLE**  
 TRUCK RECEIPTABLE  
 TRUCK RECEIPTABLE

**EXISTING LEGEND**  
 EXISTING DRIVEWAY  
 EXISTING SIDEWALK  
 EXISTING PAVEMENT  
 EXISTING CURB  
 EXISTING UTILITY POLE  
 EXISTING UTILITY TOWER  
 EXISTING ELECTRICAL POLE  
 EXISTING STREET LIGHT

**PROPOSED LEGEND**  
 PROPERTY LINE  
 BUILDING SETBACK LINE  
 STANDARD CURB  
 CONCRETE PAVEMENT  
 CONCRETE SIDEWALK  
 ASPHALT PAVEMENT  
 LANDSCAPING  
 SITE LIGHTING POLE  
 TRAFFIC ARROW  
 PARKING COUNT SYMBOL

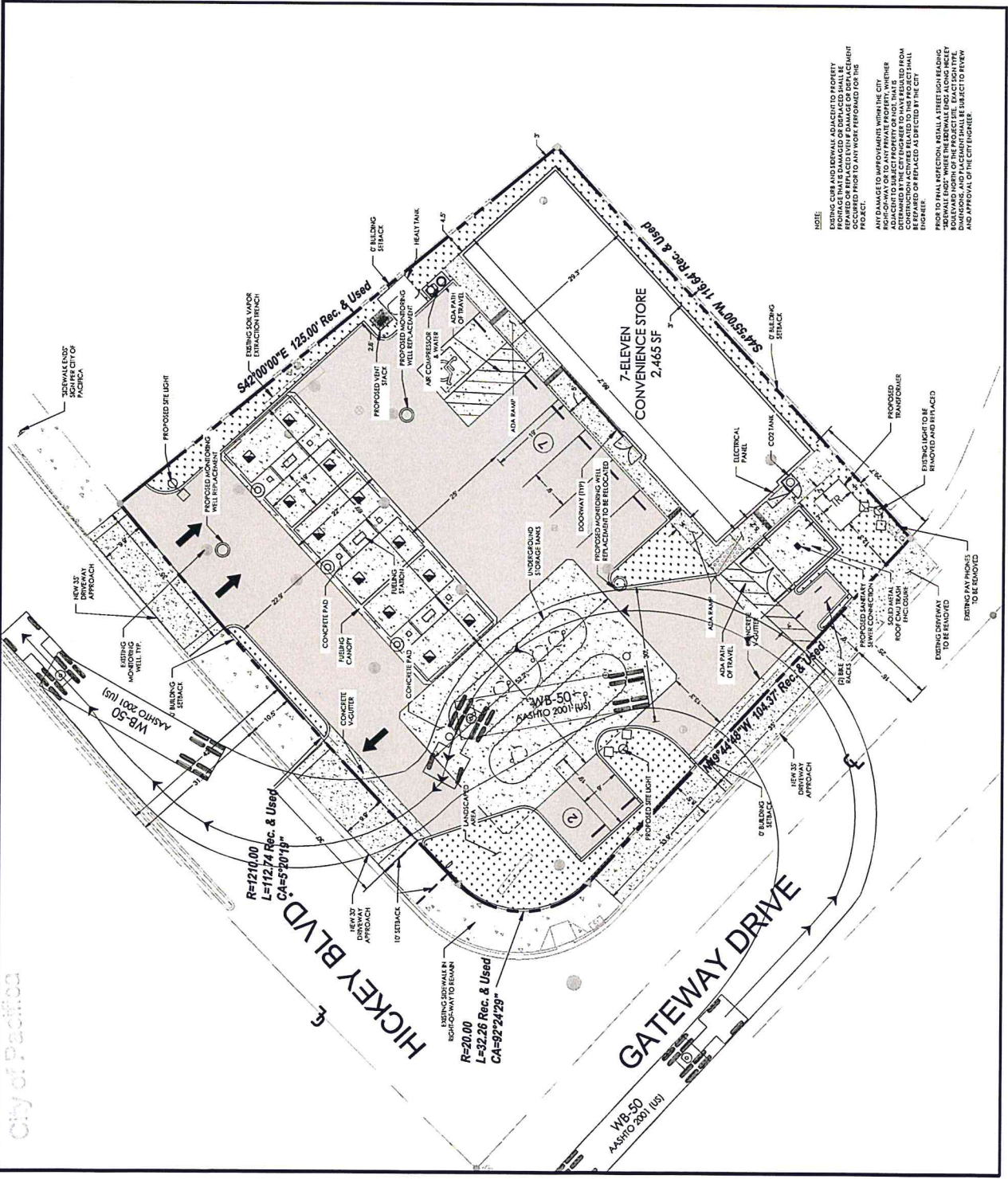
**CORE STATES ENGINEERING GROUP**

Checked By: SMA  
 Drawn By: SGR  
 Date: 02/25/15  
 Scale: AS NOTED  
 Job#: SEI-16202.0057

**7-ELEVEN, INC.**  
 ONE ARMS PLAZA, 1722 ROUTH STREET, DALLAS, TEXAS 75221

7-11 #1035368  
 700 HICKEY BOULEVARD  
 PACIFICA, CALIFORNIA 94044

Preliminary Site Plan  
 Prepared: 16-02-2014



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 MAR 18 2015

City of Pacifica

PREPARED BY: CORE STATES ENGINEERING GROUP  
 DATE: 02/25/15  
 PROJECT: 7-ELEVEN CONVENIENCE STORE  
 SHEET: C-2





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 Checked By: SR

**CORE STATES ENGINEERING GROUP**  
 1125 West Loop South, Suite 1000  
 Fort Worth, TX 76104  
 (817) 564-8100



**7-ELEVEN, INC.**  
 ONE ARTS PLAZA, 1722 ROUTH STREET, DALLAS, TEXAS 75221  
 7-11 #1035366  
 PACIFICA, CALIFORNIA 9044

REV. #	DATE	DESCRIPTION

Proj: 142-02-0115-0

- #### EXISTING LEGEND
- ⊠ TELEPHONE Poles
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- #### PROPOSED LEGEND
- PROPERTY LINE
  - BUILDING SETBACK LINE
  - STANDARD CURB
  - CURB AND GUTTER
  - CONCRETE PAVEMENT
  - CONCRETE SIDEWALK
  - ASPHALT PAVEMENT
  - LANDSCAPING
  - SITE LIGHTING POLE
  - ➔ TRAFFIC ARROW
  - Ⓞ PARKING COUNT SYMBOL
  - Ⓒ PROPOSED TRASH RECEPTACLE

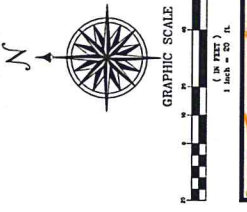
**VICINITY MAP**  
 SITE

**EXISTING SITE:**  
 CONVENIENCE STORE / SERVICE STATION

**PROPOSED SITES:**  
 2,483 SF / 711 CONVENIENCE STORE / SERVICE STATION

**APPLICANTS:**  
 7-ELEVEN, INC.  
 215 NORTH PALM  
 1722 ROUTH STREET  
 DALLAS, TEXAS 75221

**LOCAL AGENCIES:**  
 3987 PAVEMENT DRIVE  
 HOUSTON, TEXAS 77061  
 15001-1 SPACE  
 HOUSTON, TEXAS 77061



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 MAR 18 2015





Photo	10-20-14
Rev. #	
Date	
Description	

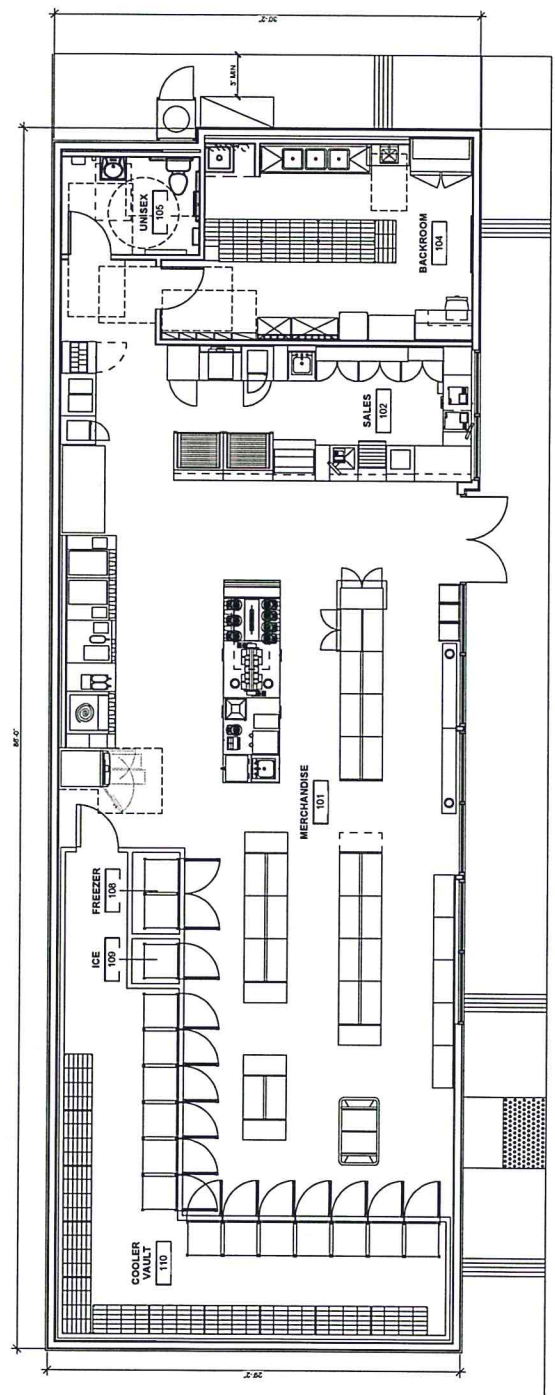
7-ELEVEN, INC.  
 ONE ARTS PLAZA, 1722 ROUTH STREET, DALLAS, TEXAS 75221  
 7-11 #1035368  
 700 HICKORY BLVD.  
 PACIFICA, CA 94044  
 FLOOR PLAN



**CORE STATES GROUP**  
 1000 Richardson Road, Suite 100  
 Houston, TX 77042  
 Phone: 281.485.4400  
 Fax: 281.485.4401

Job#: SEI-10202-57  
 Scale: AS NOTED  
 Date: 3/9/15  
 Drawn By: DS  
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1 FLOOR PLAN  
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 City of Pacific



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DATE: 01-09-14  
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CHECKED BY: [Name]  
SCALE: [Scale]  
DATE: [Date]  
DRAWN BY: [Name]  
CHECKED BY: [Name]



7-ELEVEN, INC  
ONE ARTS PLAZA 1122 NORTH STREET, DALLAS, TEXAS 75221  
STORE NO. 1035368  
COLOR PERSPECTIVE



City of Pacifica

MAR 18 2015

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PHOTO LIST ON 03.11.14



No.	Description	QTY	MFR	MODEL	DESCRIPTION
A	LED WALLPACK (6,000 LUMENS)	5	GE	EWS100CE-557G-HNDNBZ	
B	LINEAR LED STRIP LIGHT	1	PHILIPS	LEDSTRIP-5000-12V-12	
C	LED STRIP LIGHT	1	PHILIPS	LEDSTRIP-5000-12V-12	
D	GE VOLVO LED AREA LIGHTING	12	GE	ECSA00-BE-7400-LA-WHITE	
E	RHYTHM LINEAR LED WALL WASH FLOOD	4	RHYTHM	RITV3-WHT103K-1VOLT-1WWD-SASIMFYSRRETE-ELA	

7-ELEVEN, INC  
 ONE N.W. 173 AVENUE, SUITE 100, MIAMI, FL 33150  
 STORE NO. 1035368  
 COLOR ELEVATIONS



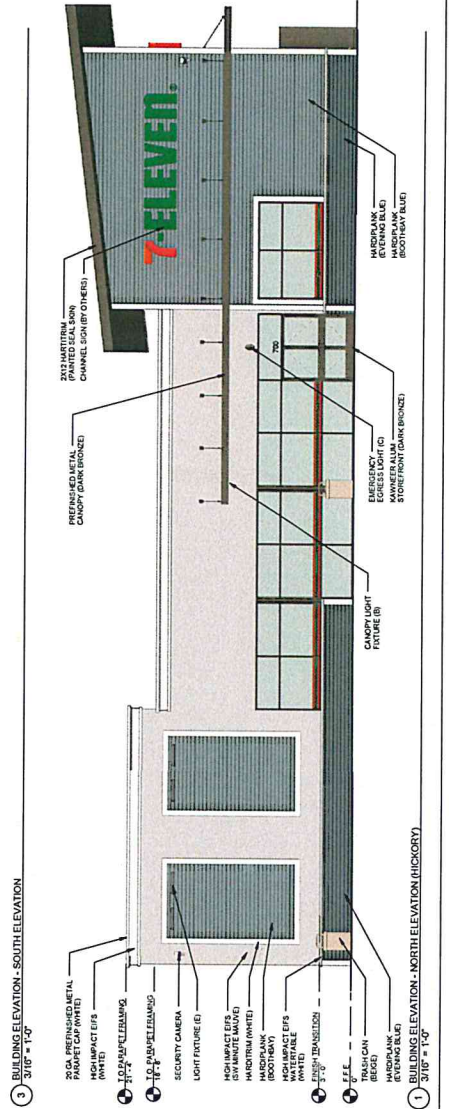
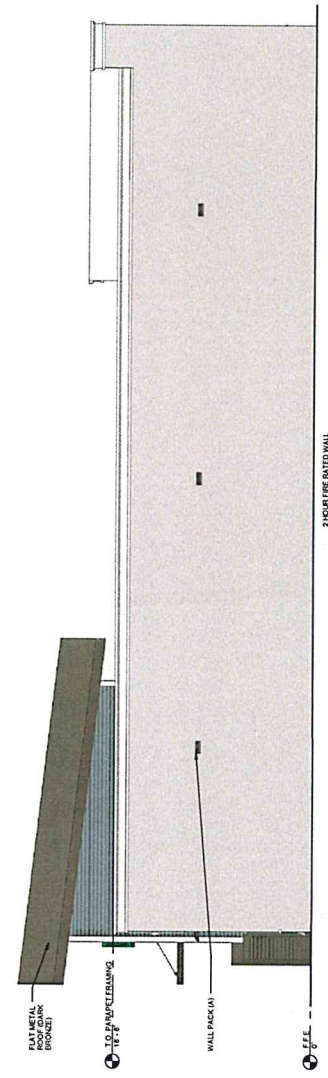
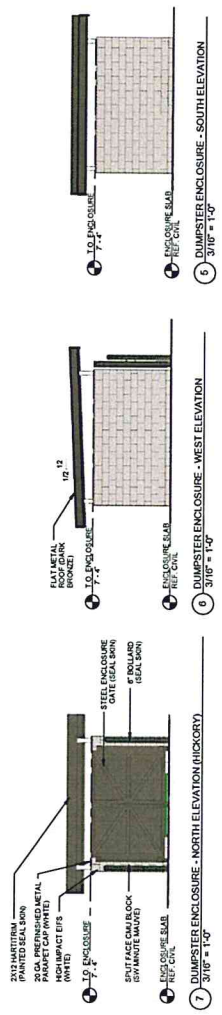
CORE STATES GROUP  
 1700 BROADWAY, SUITE 8  
 MIAMI, FL 33133  
 PHONE: (305) 584-4000  
 FAX: (305) 584-4001

PROJECT #: 1620257 AE  
 DATE: 3/9/15  
 DRAWN BY: DBS  
 CHECKED BY: CS

Scale: 3/16" = 1'-0"  
 Date: 3/9/15  
 Drawn by: DBS  
 Checked by: CS

SHEET: RBE

ITEM	QTY	MFR	MODEL	DESCRIPTION
A	5	GE	EWS100CE-557G-HNDNBZ	LED WALLPACK (6,000 LUMENS)
B	1	PHILIPS	LEDSTRIP-5000-12V-12	LINEAR LED STRIP LIGHT
C	1	PHILIPS	LEDSTRIP-5000-12V-12	LINEAR LED STRIP LIGHT
D	12	GE	ECSA00-BE-7400-LA-WHITE	GE VOLVO LED AREA LIGHTING
E	4	RHYTHM	RITV3-WHT103K-1VOLT-1WWD-SASIMFYSRRETE-ELA	RHYTHM LINEAR LED WALL WASH FLOOD



City of Palmdale  
 MAR 18 2015  
 REPRODUCTION

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 MAR 18 2015  
 City of Paducah

ITEM	QTY	MFR	MODEL	DESCRIPTION
A	5	GE	EWS100CE-557-G-1N-DK0Z	LED WALL PACK (6,200 LUMENS)
B	4	GE	GEW10004-1BA-SY	8" LINEAR LED STRIP LIGHT
C	1	PHILIPS	LEDPRS-BR-CL	EXTERIOR EMERGENCY WALL LIGHT W/ 90 MINUTE BATTERY BACKUP
D	12	GE	EGS040B-57-50-1-A-WHITE	GE EVOLVE LED AREA LIGHTING
E	4	RYTHM	RYT23-WHT16K-MOLT-WWD-S05M-FYSR-E-1BA	RYTHM LINEAR LED WALL WASH FLOOD

PROVIDE 1/8" DIA. 1/4" DIA.

7-ELEVEN, INC  
 ONE ARTS PLAZA, 1723 NORTH STREET, DALLAS, TEXAS, 75201  
 STORE NO. 1035368  
 FUEL CANOPY ELEVATIONS



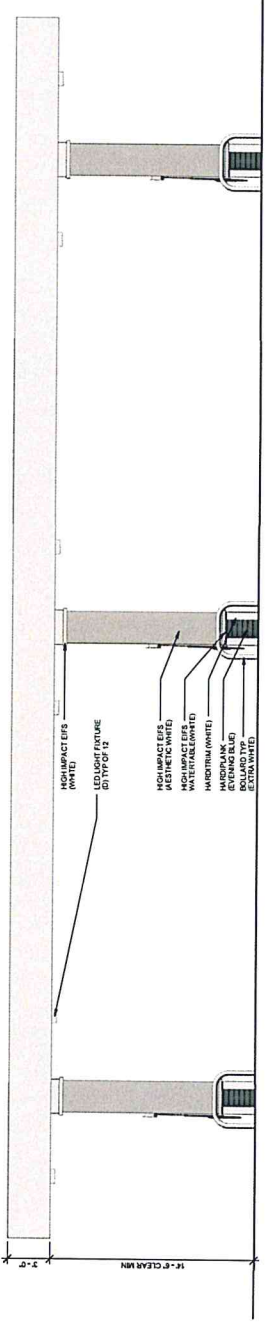
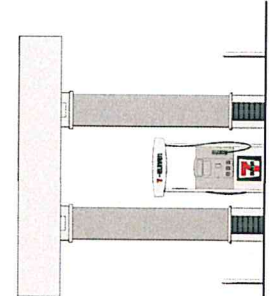
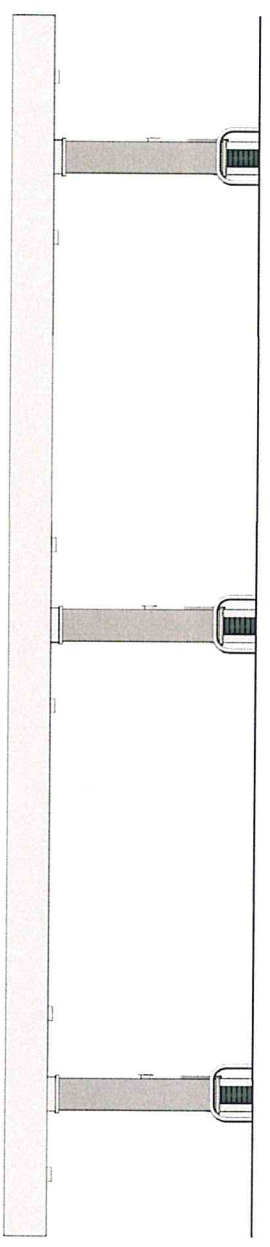
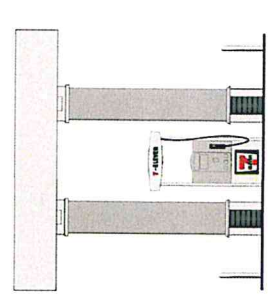
CORE STATES GROUP  
 1700 Rosswood Drive, Suite B  
 Irving, TX 75039  
 Phone: (972) 954-4000  
 Fax: (972) 954-4001

PROJECT #: 16202.57 AE  
 DATE: 3/9/15  
 CHECKED BY: CS  
 DRAWN BY: DS

Scale: 1/4" = 1'-0"  
 Date: 3/9/15  
 Checked By: CS  
 Drawn By: DS

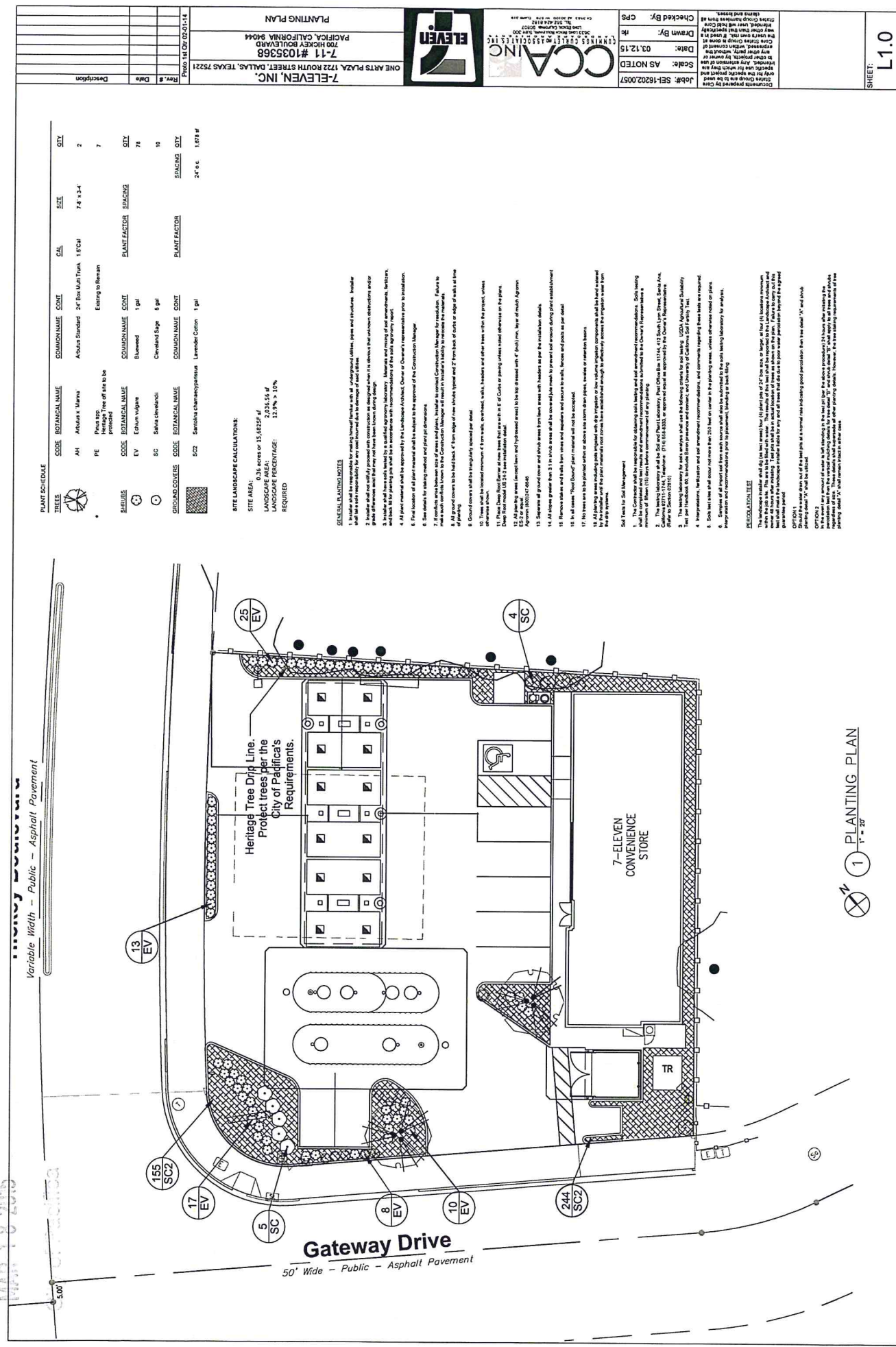
Drawings prepared by Core States Group are to be used only for the specific project and location. Any reproduction or use for other projects, in whole or in part, without the express written consent of Core States Group, is prohibited. All dimensions are in feet and inches, unless otherwise noted.

SHEET: RBE2





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 MAR 10 2015  
 5:00 PM



**PLANT SCHEDULE**

TREES	CODE	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	QTY
⊗	AH	Azusa's Marina	Azusa Standard	24" Box Multi Trunk	15' Cal	7.4' x 3.4'	2
⊗	PE	Florida Native Heritage Tree off site to be protected	Entering to Newborn				7
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	CONT	PLANT FACTOR	SPACING	QTY
⊙	EV	Echinops virgata	Blueweed	1 gal		78"	78
⊙	SC	Sarcocolla clevelandii	Cleveland Sage	5 gal			10
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	CONT	PLANT FACTOR	SPACING	QTY
⊘	SC2	Sarcocolla clematisifolia	Lambert Cotton	1 gal		24" x 6"	1,875

**SITE LANDSCAPE CALCULATIONS:**  
 SITE AREA: 0.36 acres or 15,832 SF ±  
 LANDSCAPE AREA: 2,036.55 SF  
 LANDSCAPE PERCENTAGE: 12.9% > 10%  
 REQUIRED

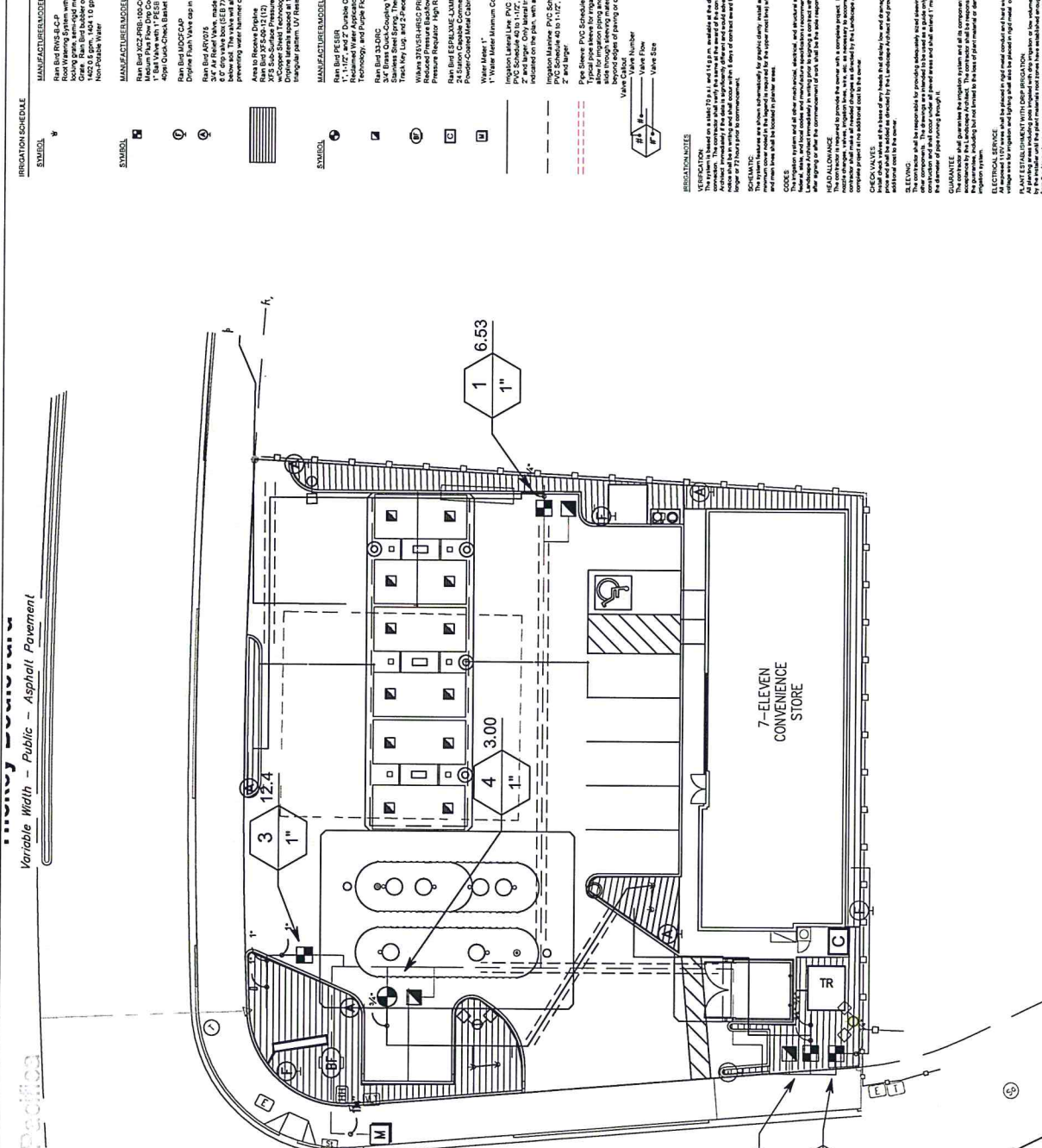
**GENERAL LANDSCAPE NOTES:**

- The Contractor shall be responsible for obtaining all necessary permits, fees, and approvals from the City of Paducah and the Kentucky Department of Transportation (KYDOT) for all landscaping work.
- The Contractor shall protect all existing trees and structures. All trees to be removed shall be marked with a red 'X' and a diameter measurement. All trees to be preserved shall be marked with a green checkmark and a diameter measurement.
- The Contractor shall install a drip line for the heritage tree and protect it per the City of Paducah's requirements.
- All plants shall be installed within the specified spacing and shall be watered and mulched for the first 14 days after installation.
- The Contractor shall provide a written report of the site visit and the results of the site inspection to the Construction Manager.
- The Contractor shall provide a written report of the site visit and the results of the site inspection to the Construction Manager.
- The Contractor shall provide a written report of the site visit and the results of the site inspection to the Construction Manager.
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- The Contractor shall provide a written report of the site visit and the results of the site inspection to the Construction Manager.

<p><b>7-ELEVEN, INC.</b>          ONE ARTS PLAZA, 1723 ROUTH STREET, DALLAS, TEXAS 75221          7-11 #1035368          700 HOKEY BOULEVARD          PAPERDALE, CALIFORNIA 90444          PLANTING PLAN</p> <p><b>CCA INC.</b>          1100 S. GUYTON ST., SUITE 200          DALLAS, TEXAS 75215          (214) 412-2200          (214) 412-2201          (214) 412-2202          (214) 412-2203          (214) 412-2204          (214) 412-2205          (214) 412-2206          (214) 412-2207          (214) 412-2208          (214) 412-2209          (214) 412-2210          (214) 412-2211          (214) 412-2212          (214) 412-2213          (214) 412-2214          (214) 412-2215          (214) 412-2216          (214) 412-2217          (214) 412-2218          (214) 412-2219          (214) 412-2220</p> <p>Checked By: cps          Drawn By: mls          Date: 03.12.15          Scale: AS NOTED          Job#: SEH180220057</p>	<p><b>SHEET: L1.0</b></p> <p>Documents prepared by: CCA          CCA Inc. 1100 S. Guyton St., Suite 200, Dallas, TX 75215          (214) 412-2200          (214) 412-2201          (214) 412-2202          (214) 412-2203          (214) 412-2204          (214) 412-2205          (214) 412-2206          (214) 412-2207          (214) 412-2208          (214) 412-2209          (214) 412-2210          (214) 412-2211          (214) 412-2212          (214) 412-2213          (214) 412-2214          (214) 412-2215          (214) 412-2216          (214) 412-2217          (214) 412-2218          (214) 412-2219          (214) 412-2220</p>
--	---

RECEIVED  
MAR 18 2015

Variable Width - Public - Asphalt Pavement  
5.00'



1 IRRIGATION PLAN  
1" = 20'

SYMBOL	DESCRIPTION
[Symbol 1]	Headline
[Symbol 2]	Submain
[Symbol 3]	Zone Valve
[Symbol 4]	Controller
[Symbol 5]	Hand Valve

MANUFACTURER/MODEL DESCRIPTION
Headline RING: 4" x 4" galvanized iron pipe with 4" diameter 90° flange with locking grate, 4" diameter mesh base. Check Valve and Purple Cap. 1" PVC Schedule 40 SDR 35 (12.75" O.D. x 11.875" I.D.). 1425' @ 5 gpm, 1424' @ 2.0 gpm, 1420' @ 2.0 gpm. Purple Cap for Non-Potable Water.
Submain: 1" PVC Schedule 40 SDR 35 (12.75" O.D. x 11.875" I.D.). 1425' @ 5 gpm, 1424' @ 2.0 gpm, 1420' @ 2.0 gpm. Purple Cap for Non-Potable Water.
Zone Valve: 1" PVC Schedule 40 SDR 35 (12.75" O.D. x 11.875" I.D.). 1425' @ 5 gpm, 1424' @ 2.0 gpm, 1420' @ 2.0 gpm. Purple Cap for Non-Potable Water.
Controller: 1" PVC Schedule 40 SDR 35 (12.75" O.D. x 11.875" I.D.). 1425' @ 5 gpm, 1424' @ 2.0 gpm, 1420' @ 2.0 gpm. Purple Cap for Non-Potable Water.
Hand Valve: 1" PVC Schedule 40 SDR 35 (12.75" O.D. x 11.875" I.D.). 1425' @ 5 gpm, 1424' @ 2.0 gpm, 1420' @ 2.0 gpm. Purple Cap for Non-Potable Water.

IRRIGATION SCHEDULE

7-ELEVEN, INC.  
7-11 #1035368  
ONE ARTS PLAZA 1722 ROUGH STREET, DALLAS, TEXAS 75221  
PACIFIC CALIFORNIA, 9404  
7-ELEVEN

7-11 #1035368

ONE ARTS PLAZA 1722 ROUGH STREET, DALLAS, TEXAS 75221

7-ELEVEN, INC.

7-11 #1035368

ONE ARTS PLAZA 1722 ROUGH STREET, DALLAS, TEXAS 75221

Checked By: CPS  
Date: 03.12.15  
Scale: AS NOTED  
Job#: SEH-16202-0057

Drawn By: [Signature]  
Date: 03.12.15

Checked By: [Signature]  
Date: 03.12.15

Scale: AS NOTED  
Job#: SEH-16202-0057

CONTRACTOR'S RESPONSIBILITY: The contractor shall be responsible for providing, installing, testing, and maintaining the irrigation system in accordance with the specifications and requirements of the contract documents. The contractor shall be responsible for obtaining all necessary permits and for ensuring that the system is installed and maintained in accordance with all applicable codes and regulations. The contractor shall be responsible for providing a complete set of as-built drawings and for maintaining accurate records of all work performed. The contractor shall be responsible for coordinating all work with the owner and for ensuring that the system is installed and maintained in accordance with the contract documents. The contractor shall be responsible for providing a complete set of as-built drawings and for maintaining accurate records of all work performed. The contractor shall be responsible for coordinating all work with the owner and for ensuring that the system is installed and maintained in accordance with the contract documents.

REV #	DATE	DESCRIPTION
1	02/04/14	Issue
2		
3		
4		
5		
6		
7		

7-ELEVEN, INC.  
7-11 #1035368  
ONE ARTS PLAZA 1722 ROUGH STREET, DALLAS, TEXAS 75221

7-11 Store #1035368  
LED Site Plan  
GE RE LED  
PACIFICA, CA

7-11 Store #1035368  
LED Site Plan  
PACIFICA, CA

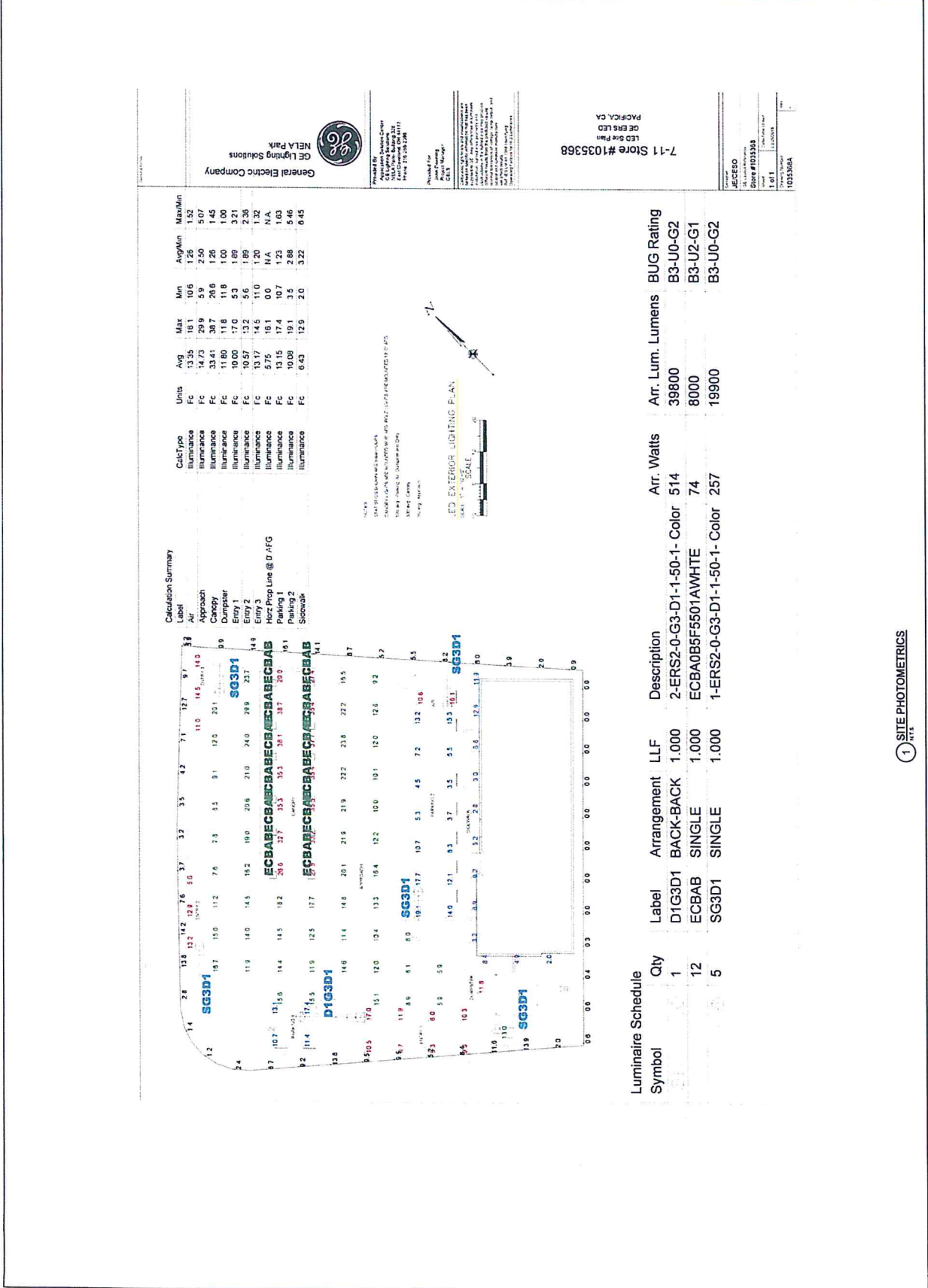
Checked By: BOM  
Drawn By: SE  
Date: 3/8/15  
Scale: AS NOTED  
Job#: SEI-15202.57

7-11 Store #1035368  
LED Site Plan  
PACIFICA, CA

Checked By: BOM  
Drawn By: SE  
Date: 3/8/15  
Scale: AS NOTED  
Job#: SEI-15202.57

7-11 Store #1035368  
LED Site Plan  
PACIFICA, CA

Checked By: BOM  
Drawn By: SE  
Date: 3/8/15  
Scale: AS NOTED  
Job#: SEI-15202.57

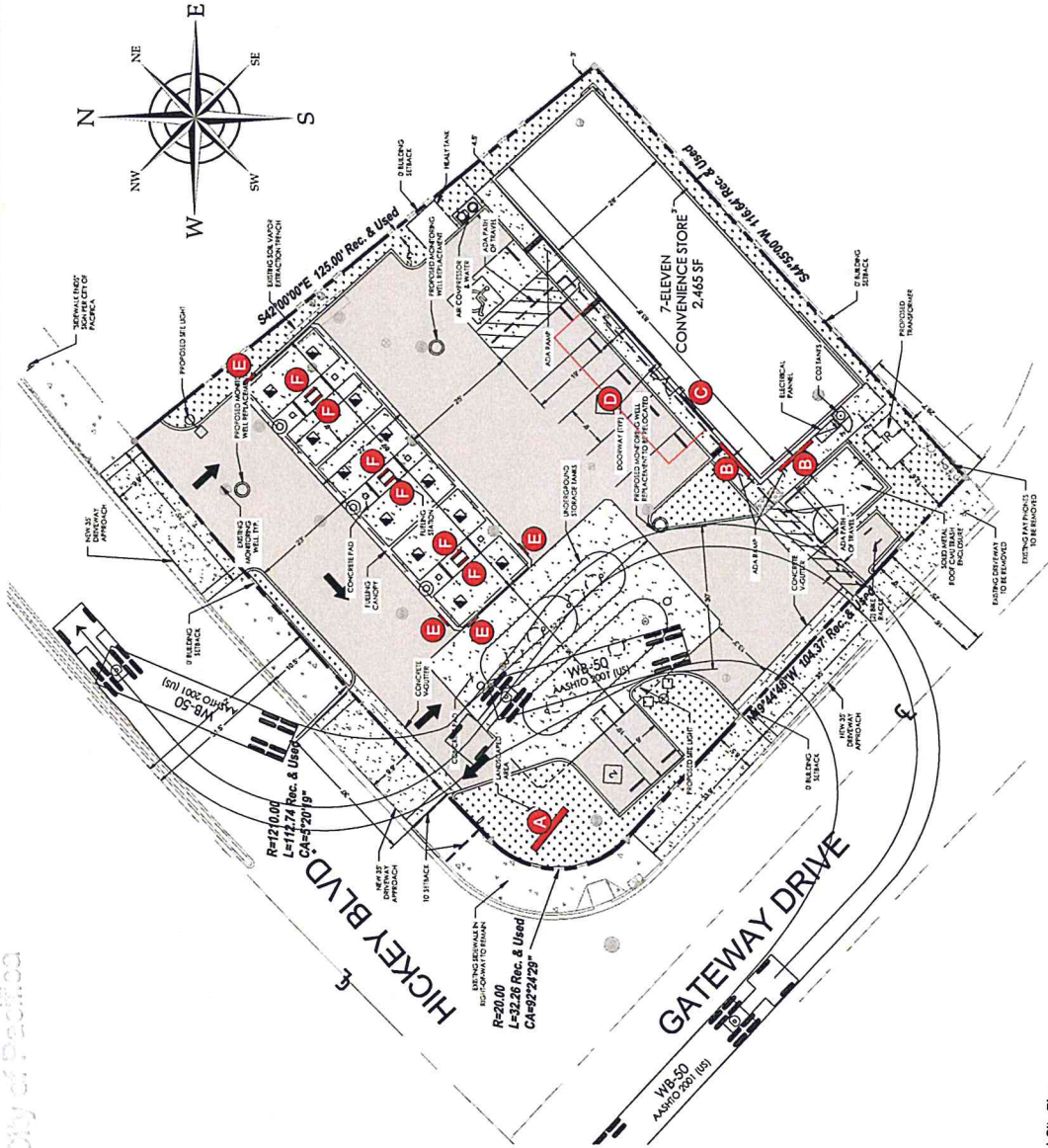




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City of Pacifica



GATEWAY DRIVE - SIGNAGE SUMMARY			
SIGN TYPE	PAGE(S)	DESCRIPTION	SQ. FT.
SIGN A	2	MONUMENT SIGN	21.4 SF
SIGN B	3	2'-6" CHANNEL LETTERS	33.5 SF
SIGN E	5	CANOPY SIGNS 2 @ 4 SQ. FT. EA.	8.0 SF
SIGN F	5	GAS PUMPS 6 @ 4 SQ. FT. EA.	24.0 SF
PROPOSED TOTAL SQ. FT.			86.9
ALLOWED SQ. FT.			90.375

HICKEY BLVD - SIGNAGE SUMMARY			
SIGN TYPE	PAGE(S)	DESCRIPTION	SQ. FT.
SIGN A	2	MONUMENT SIGN	21.4 SF
SIGN B	3	2'-6" CHANNEL LETTERS	33.5 SF
SIGN E	5	CANOPY SIGNS 2 @ 4 SQ. FT. EA.	8.0 SF
SIGN F	5	GAS PUMPS 6 @ 4 SQ. FT. EA.	24.0 SF
PROPOSED TOTAL SQ. FT.			86.9
ALLOWED SQ. FT.			96.65

1 | Site Plan  
1" = 300'

**harbinger**  
sign of the future

5300 SHAD ROAD, JACKSONVILLE, FL 32257 904.268.4681

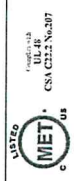
7-Eleven #37265 (0353368)  
700 Hickey Boulevard  
Pacifica, California

SVE3940-R6

Customer: 7-Eleven, Inc.  
SVE3940-R6 #37265 (0353368).cdr

FILE - ORIGINAL CONCEPT  
DATE: 12/15/14  
BY: [Redacted]  
DESIGNED BY: [Redacted]  
DRAWN BY: [Redacted]

Salesperson: RG  
PK: MN  
Designer: MH  
Page: 1  
date:



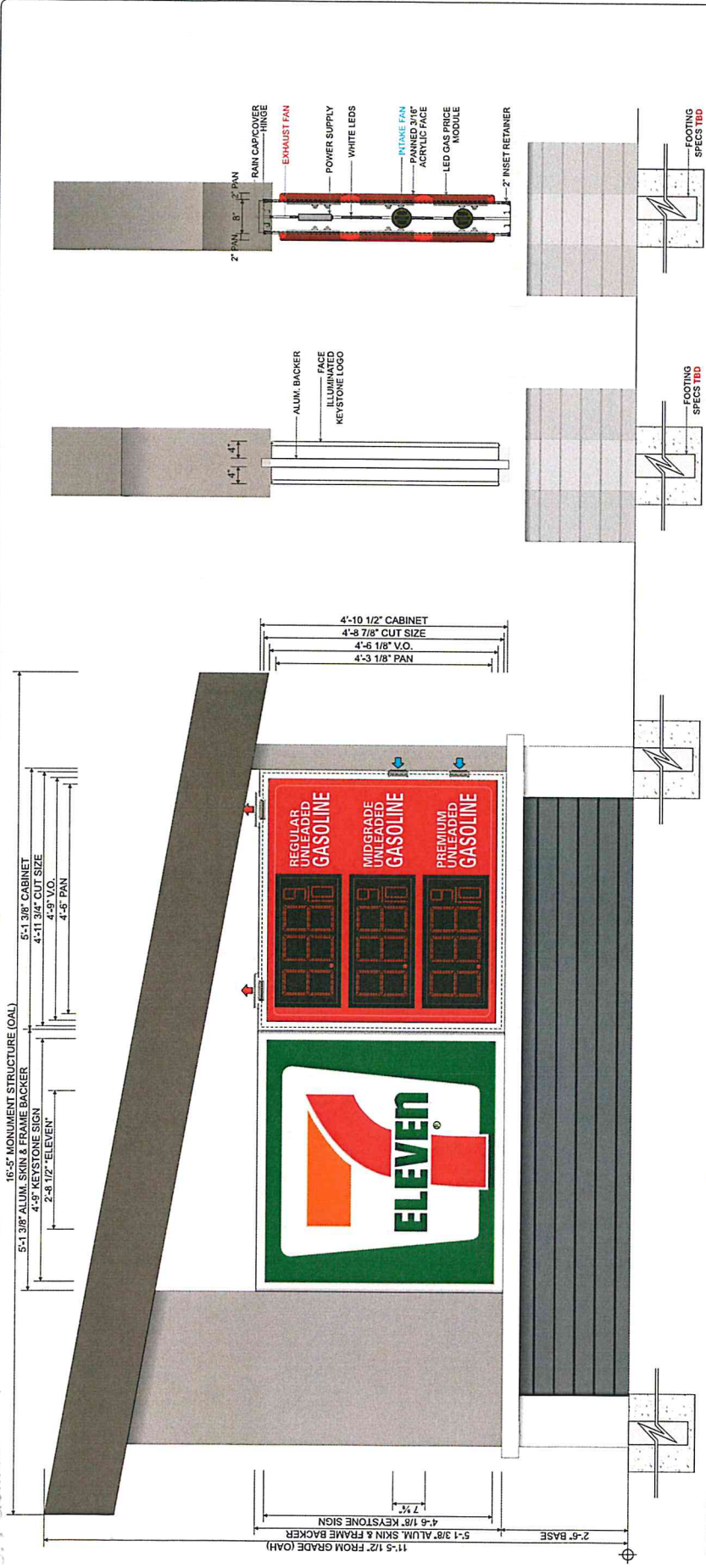
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MANUFACTURE & SHIP ONE (1) CUSTOM DIF INTERNALLY ILLUMINATED MONUMENT SIGN. MONUMENT STRUCTURE TO BE FABRICATED OUT OF ALUM., PAINTED AND CONSTRUCTED TO MATCH EXISTING BUILDING COLORS & STYLE.

MANUFACTURE & SHIP ONE (1) CUSTOM DIF TRIPLE PRODUCT INTERNALLY ILLUMINATED SIGN CABINET W/ RED LED DIGITS. TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS. 3/16" THICK PAN FORMED CLEAR ACRYLIC FACES BACK SPRAYED PMS 485 RED THEN PMS WHITE W/ 3M 7725-12 BLACK VINYL TRIM AROUND LED WINDOW APPLIED SECOND SURFACE. 8" DEEP EXTRUDED ALUM. CABINET W/ 2" INSET RETAINERS TO BE PAINTED WHITE. RETAINER TO BE HINGED ON BOTH SIDES OF THE CABINET. PROVIDE CUSTOMER W/ STANDARD 12" DIGIT RED LED MODULES.

MANUFACTURE & SHIP TWO (2) CUSTOM INTERNALLY ILLUMINATED REMOTE KEYSTONE LOGO CHANNEL LETTERS. 3/16" THICK WHITE ACRYLIC FACES W/ TRANSLUCENT VINYL GRAPHICS APPL. LED SURFACE. 1" DEEP ALUMINUM RETURNS PRE-PAINTED WHITE W/ 1" WHITE (JEWELITE) TRIM CAP. LETTERS TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS. BACKGROUND PANEL TO BE ALUM. SKIN & FRAME PAINTED WHITE.

7-ELEVEN PAINT SPECS: PMS 485 RED, PMS WHITE 7-ELEVEN VINYL SPECS: 3M 3630-44 ORANGE, 3M 3630-33 RED, 3M 3630-26 GREEN, 3M 7725-12 BLACK

NOTE: STEEL & FOOTING SPECS TO BE DETERMINED PRIOR TO PRODUCTION.  
 P NOTE: IMAGES SHOWN ARE FOR CONCEPTUAL PURPOSES ONLY. ARTWORK IS SUBJECT TO CHANGE PENDING COMPLETE SURVEYS & LOCAL SIGN ORDINANCES & BUILDING SPECIFICATIONS.

PRODUCTILED MODULE SPECS:  
 LED UNIT SIZE: 15.6" X 31.3"  
 LED UNIT V.O.: 15.6" X 31.3"  
 LED CHARACTER SIZE: 12"  
 PRODUCT BACKGROUND: 10.5" X 18.375"  
 PRODUCT COPY: 2"  
 GANTRY COPY: 2"  
 DIESEL COPY: 4"  
 FONT: UNIVERSE BOLD

7-ELEVEN LOGO DIMENSIONS:  
 OAH: 49"  
 OAL: 44 3/4"

Display Square Footage (Keystone): 21.4 Plastic: L25

**harbinger.**  
 sign of the future

5300 SHAD ROAD, JACKSONVILLE, FL 32257 904.268.4681

7-Eleven #37265 (0035368)  
 700 Hickey Boulevard  
 Pacifica, California

SVE3940-R6

11/14 ORIGINAL CONCEPT  
 12/14 REV 1  
 01/15 REV 2  
 02/15 REV 3  
 03/15 REV 4  
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 03/15 REV 96  
 03/15 REV 97  
 03/15 REV 98  
 03/15 REV 99  
 03/15 REV 100

Salesperson: RG

PM: MN

Designer: MH

Page: 2



UL 48  
 CSA C22.2 No.37

customer approval \_\_\_\_\_ date: \_\_\_\_\_

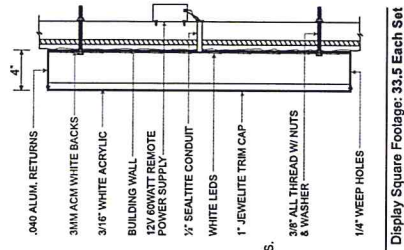
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CITY OF PLEASANTON



MANUFACTURE & SHIP TWO (2) SETS OF 30" INTERNALLY ILLUMINATED REMOTE CHANNEL LETTERS.  
 3/16" THICK WHITE ACRYLIC FACES W/ TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE.  
 4" DEEP REMOTE CHANNEL LETTERS.  
 1" DURANODIC BRONZE/JEWELITE TRIM CAP.  
 LETTERS TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS.

7-ELEVEN VINYL SPECS: 3M 3630-44 ORANGE, 3M 3630-33 RED, 3M 3630-26 GREEN

3 | Front Elevation & Side Mounting Detail - Standard 30" Remote Channel Letters - Sign Type B

1/4" = 1'-0"

NOTE: IMAGES SHOWN ARE FOR CONCEPTUAL PURPOSES ONLY. ARTWORK IS SUBJECT TO CHANGE PENDING COMPLETE SURVEYS & LOCAL SIGN ORDINANCES.



4 | Photo Overlay - Signs B, C & D  
NTS

7-Eleven #37265 (1035368)  
700 Hickey Boulevard  
Pacifica, California

SVE3940-R6

5300 SHAD ROAD, JACKSONVILLE, FL 32257 904-268-4681

1111M - ORIGINAL CONCEPT  
 01/28/14 BY: [unreadable]  
 02/03/14 BY: [unreadable]  
 02/03/14 BY: [unreadable]  
 02/03/14 BY: [unreadable]

F:\Customers\17\Elmest\MT  
 (SVE3940-R6-#37265 (1035368).cdr

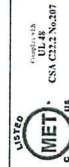
SELLSPERSON: RG

DESIGNER: MH

PH: MN

SALES: RG

DATE:

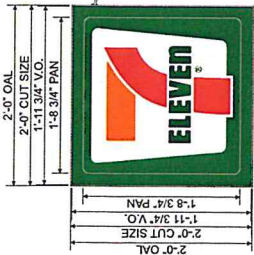


UL LISTED  
 UL 48  
 CUL  
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 MIET  
 THE SIGNS ON THESE PAGES HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE IBC AND/OR THE 2010 IBC AND/OR THE 2012 SPEC.

RECEIVED

MAR 18 2015

City of Pacific



MANUFACTURE & SHIP FOUR (4) W22X22 CANOPY (00000000) S/F INTERNALLY ILLUMINATED SIGN CABINETS.  
 3/16" THICK PAN FORMED OVER THE SIGN FACE W/ TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE.  
 4" DEEP ALUM. RETURNS TO BE PAINTED PEARL WHITE LOW GLOSS. 1" WHITE (JEWELITE) TRIM CAP.  
 CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS.

7-ELEVEN VINYL SPECS: 3M 3630-44 ORANGE, 3M 3630-33 RED, 3M 3630-26 GREEN

7-ELEVEN LOGO DIMENSIONS: OAH: 18 11/16" OAL: 17 15/16"

7 | Front Elevation & Side Mounting Detail - W22X22 CANOPY (00000000) Canopy Cabinet - Sign Type E

Display Square Footage (Cabinet): 4.0 Each



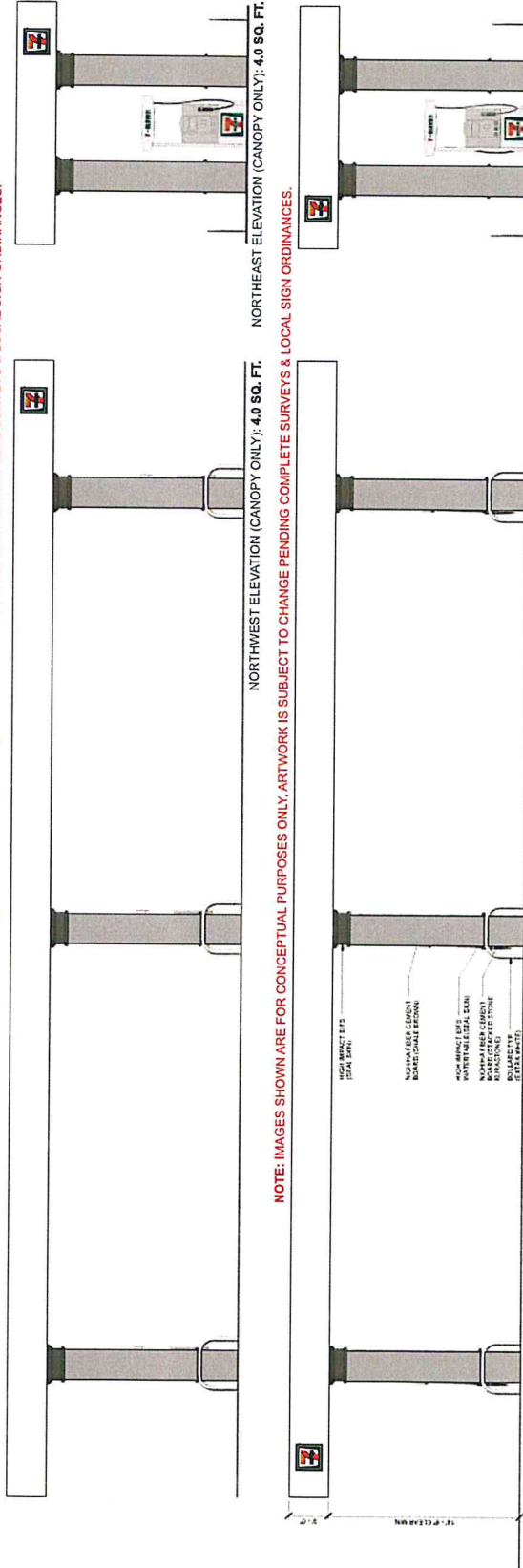
BY OTHERS: SIX (6) MULTI PRODUCT FUEL DISPENSER GRAPHICS. SPECIFICATION BY OTHERS

NOTE: PROVIDED BY FUEL DISTRIBUTOR

8 | Front Elevation & Side Mounting Detail - Sign Type F

Display Square Footage: 4.0 Each

NOTE: IMAGES SHOWN ARE FOR CONCEPTUAL PURPOSES ONLY, ARTWORK IS SUBJECT TO CHANGE PENDING COMPLETE SURVEYS & LOCAL SIGN ORDINANCES.



NORTHWEST ELEVATION (CANOPY ONLY): 4.0 SQ. FT.

NORTHEAST ELEVATION (CANOPY ONLY): 4.0 SQ. FT.

SOUTHEAST ELEVATION (CANOPY ONLY): 4.0 SQ. FT.

SOUTHWEST ELEVATION (CANOPY ONLY): 4.0 SQ. FT.

9 | Overlay Canopy Sign - Sign Type E & F

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sign of the future

5300 SHAD ROAD, JACKSONVILLE, FL 32257 904.846.4681

7-Eleven #37265 (035368)  
700 Hickey Boulevard  
Pacifica, California

SVE3940-R6

F:\Customer\17 Eleven\Mat (SVE3940-R6-37265 (035368).cdr

11.11. ORIGINAL CONCEPT  
DATE: 11/11/14  
DRAWN BY: [Redacted]  
CHECKED BY: [Redacted]  
DATE: 11/11/14  
DATE: 11/11/14  
DATE: 11/11/14

Salesperson: RG PM: MN Designer: MH Page: 6

customer approval date:



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RECEIVED  
MAR 10 2015

City of Pacifica

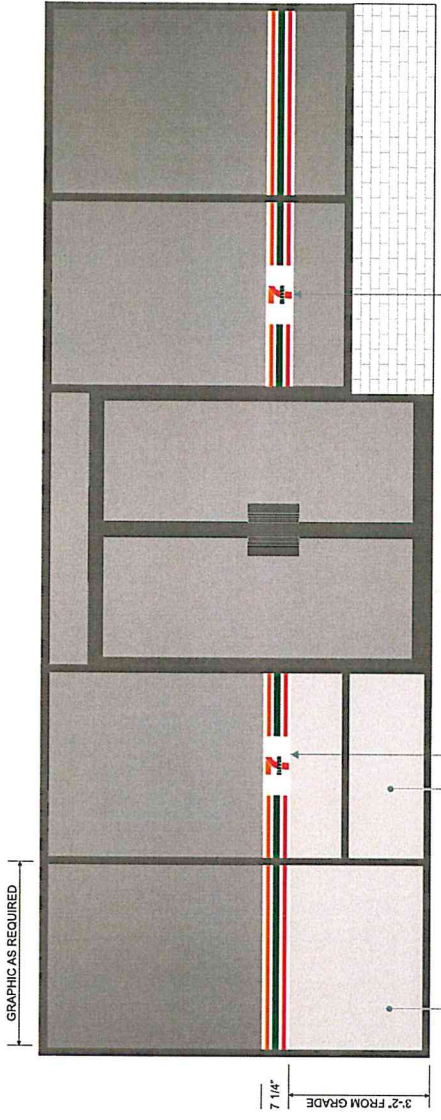
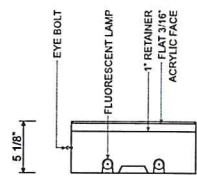


INSTALL ONE (1) STANDARD INTERNALLY ILLUMINATED S/F WINDOW SIGN, 3/16" THICK FLAT WHITE ACRYLIC FACE W/TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE. CABINET TO BE INTERNALLY ILLUMINATED W/ 7-8 H.O. FLUORESCENT LAMPS, 5 1/8" DEEP ALUM. CABINET & 1" RETAINERS ALL PAINTED BLACK. SIGN TO HANG INSIDE THE STORE BEHIND GLASS AS INDICATED IN PHOTO OVERLAY WITH EYE BOLTS.

VINYL SPECS: 3M 3630-157 BLUE, 3M 3630-33 RED, 3M 3630-126 GREEN

NOTE: ATM SIGN TO BE FABRICATED & PROVIDED BY OTHERS!

5 1" = 1'-0"  
Front Elevation & Side Mounting Detail - Standard ATM S/F Window Sign - Sign C  
Display Square Footage (Cabinet): 3.2



GRAPHICS AS REQUIRED

FROSTING UNDER THE STRIPES ONLY TO HIDE EQUIPMENT AT THE SALES COUNTER AREA WHEN DESIRED. (DETERMINED BY OTHERS)

THE VERY FIRST WINDOWS ON EITHER SIDE OF THE DOOR WILL GET THE STRIPE WITH THE LOGO. ALL OTHER STORE WINDOWS WILL GET STRIPES WITHOUT THE LOGO.

WINDOW VINYL GRAPHICS.  
VINYL GRAPHICS TO BE APPLIED SECOND SURFACE ONTO DESIGNATED STORE WINDOWS.

NOTE: WINDOW GRAPHICS KITS TO BE PROVIDED AND INSTALLED BY OTHERS; NOT PART OF HARBINGERS SCOPE OF WORK.  
NOTE: FOR FULL INSTALLATION INSTRUCTIONS, REFER TO 7-ELEVEN SIGNAGE MANUAL.

6 3/8" = 1'-0"  
Front Elevation - Typical Window Vinyl Graphics - Sign D

**harbinger.**  
sign of the future

5300 SHAD ROAD, JACKSONVILLE, FL 32257 904.246.4681

7-Eleven #37245 (0353668)  
700 Hickey Boulevard  
Pacific, California

SVE3940-R6

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Designer: MH  
Salesperson: RG  
Date: \_\_\_\_\_

RECEIVED  
MAR 18 2015  
City of Pacific



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## PROPERTY MAINTENANCE PLAN

---

Property maintenance is essential to 7-Eleven's commitment to its customers and the local community. A safe, clean, attractive, well-lit and well-managed store is always the goal.

7-Eleven Store Operators are generally responsible for all routine day-to-day maintenance and housekeeping inside and outside the store. Daily store walks help Store Operators identify general maintenance and housekeeping tasks inside and outside the store. Minor tasks such as cleaning or litter removal are delegated to and performed by sales associates. Larger issues such as graffiti removal or a broken window can be immediately sent to 7-Eleven Facilities Maintenance through an on-line Work Order Request for a timely repair. In addition, Field Consultants are constantly visiting 7-Eleven stores with the objective of documenting needed repairs and, if applicable, reminding Store Operators of his or her lease and franchisee agreements.

### Exterior

To present the most inviting place for guests to shop, the exterior of the building and the property it sits on must be attended to regularly. The parking area, fuel area, landscaping, and fences must be clean, litter-free and brightly lit.

Well-maintained lawn and landscaped areas convey a message of care for one's property and concern for the image of the neighborhood. Maintain regular service schedules for all landscaping elements at your store.

The exterior doors and windows at 7-Eleven stores help create guests' first impressions. It is imperative that all doors and hardware, both those designed to secure the building and isolate the interior store environment from the elements be routinely maintained at the highest standard, both in terms of cleanliness and operation. It is the Store Operator's responsibility to manage the routine care of door and window systems throughout the store and report physical problems as they arise.

### Interior

Counter tops, cabinets, shelving, and other fixtures must be cleaned and sanitized as outlined in the Quality Assurance guidelines. 7-Eleven guests expect foodservice areas to be restaurant-clean. Use the proper cleaning and sanitation methods to make your store clean and safe.



Interior and exterior lighting is important to the guest experience at 7-Eleven stores. Lights offer security and often emphasize key product offerings. A well-lit exterior invites guests to a secure and safe place to visit. Crisp interior lighting suggests a clean, foodservice-ready environment.

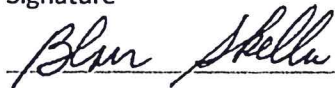
Guests expect a clean store environment, so knowing how to properly and safely clean floors is a part of your everyday business. Keeping your store floors clean help guests feel good about shopping at your store.

Clean restrooms are very important to our guests, so the restroom(s) should be checked frequently and cleaned whenever needed. It is also important to make sure the restroom is stocked with supplies.

RER

Blair Skellie

Signature

A handwritten signature in cursive script, reading "Blair Skellie", is written over a horizontal line.